

# Staff Summary Report



Development Review Commission Date: 08/14/07

Agenda Item Number: 5

**SUBJECT:** Hold a public meeting for Development Plan Review and a Preliminary Subdivision Plat for PIER 202 located at 1200 East Rio Salado Parkway.

**DOCUMENT NAME:** DRCr\_Pier202\_081407

**PLANNED DEVELOPMENT (0406)**

**SUPPORTING DOCS:** Yes

**COMMENTS:** Request for **PIER 202 (PL060548)** (City of Tempe, property owner; Brad Gorman, applicant) for the future development of nine (9) new buildings for commercial and residential on +/-27.4 acres, located at 1200 East Rio Salado Parkway, in the MU-4, Mixed-Use High Density District, including the following:

**DPR07156** – Development Plan Review for landscape plans only.

**SBD07024** – Preliminary Subdivision Plat consisting of nine (9) lots on +/-27.4 gross acres.

**PREPARED BY:** Ryan Levesque, Senior Planner (480-858-2393)

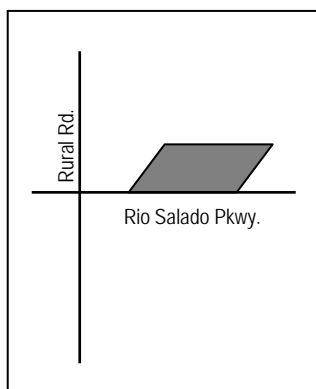
**REVIEWED BY:** Lisa Collins, Planning Director (480-350-8989) 

**LEGAL REVIEW BY:** N/A

**FISCAL NOTE:** N/A

**RECOMMENDATION:** Staff – Approval, subject to conditions (1-14).

## ADDITIONAL INFO:



Gross site area 27.38 acres

Building area approx. 3,693,400 s.f. (9 total buildings)

**PAGES:**

1. List of Attachments
2. Comments / Reason for Approval
- 3-5. Conditions of Approval
6. History & Facts / Zoning & Development Code Reference

**ATTACHMENTS:**

1. Location Map
2. Aerial Photo(s)
3. Letter of Explanation
- 4-6. Preliminary Subdivision Plat
- 7-32. Landscape Plans

**COMMENTS:**

The applicant is requesting approval for a Development Plan Review for landscape and a Preliminary Subdivision Plat for the future development of nine buildings on 27.4 acres, which will include residential condominiums, commercial office, restaurant, retail and hotel, including below and above grade parking. This site is located just east of Rural Road on the Rio Salado Parkway. The property is directly adjacent to Tempe Town Lake to the north and the ASU Karsten Golf Course to the west. The overall project will be developed in three phases.

The request before you today is part of a bond improvement district that will assist in construction of infrastructure improvements within the public right-of-ways located on this project. This includes two components to the request. One portion of the request is the subdivision plat, dedicating certain right-of-ways and easements for necessary infrastructure and public access, and subdividing the existing land into nine (9) lots for future development, including a tract. Each lot will have dedicated pedestrian access and utility easements as defined on the plat.

The second component of the request is a landscape plan review located within the proposed lot easements and in the right-of-ways. The landscape plan includes on-street parking, sidewalk system and integrated landscape within defined areas of the project. As well, the water feature component is included, which is located within public right-of-way, between lots 3 and 4. Additional landscape review will be required as part of the development plan when individual building proposals are finalized. This request also does not include any landscape within the banks of Tempe Town Lake, located off site. A future design as part of a RFP (request for proposal) will be brought forward by the City of Tempe for pedestrian improvements and landscape design of the south bank, extending to Rural Road.

Staff is recommending approval of this request subject to conditions of approval.

**REASONS FOR APPROVAL:**

1. The proposed plat has access to public streets and meets the technical standards of the City Code, Chapter 30, Subdivisions.
2. The landscape plan will create consistent theme within the Pier 202 project area, blending streetscape and connectivity within the project lots and to the Tempe Town Lake.

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. DEVELOPMENT REVIEW COMMISSION MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS. THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCE THAT PLANNING STAFF OBSERVES ARE PERTINENT TO YOUR CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT. THESE ITEMS ARE NOT AN EXHAUSTIVE LIST.

#### **SBD07024**

##### **CONDITIONS OF APPROVAL:**

1. The Subdivision Plat for PIER 202 shall be put into proper engineered format with appropriate signature blanks and recorded with the Maricopa County Recorder's Office through the City of Tempe's Development Services Department on or before August 16, 2008. Failure to record the plan within one year of City Council approval shall make the plan null and void.
2. After recordation of the plat, the Development Services will deliver the recorded plat to a blueprint company to create photo reduced positives for the City's records, at a cost to the applicant.

#### **DPR07156**

##### **CONDITIONS OF APPROVAL:**

3. Your drawings must be submitted to the Development Services Building Safety Division for permit by **August 14, 2008** or Development Plan approval will expire.
4. The owner(s) shall provide a continuing care condition, covenant and restriction for all of the project's landscaping, required by Ordinance or located in any common area on site. The CC&R's shall be in a form satisfactory to the Development Services Manager and City Attorney.
- Under an agreement between the City of Tempe and the State of Arizona, Water Conservation Reports are required for landscape and domestic water use for this project. Have the landscape architect and the mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59, available from Building Safety (480-350-8341). Contact Pete Smith of Water Resources (480-350-2668) if there are any questions regarding the purpose or content of the water conservation reports.
- The project site does not have an Archaeologically Sensitive designation. However, State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Where such a discovery is made, contact the Arizona State Historical Museum (520-621-6302) for removal and repatriation of the items. Contact the Tempe Historic Preservation Officer (Joe Nucci 480-350-8870) if questions regarding the process described in this condition.

##### **Site Plan**

5. Provide 8'-0" wide public sidewalk along arterial roadways and minimum 6'-0" wide sidewalks on interior roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
6. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
7. Provide upgraded paving at each driveway apron consisting of unit paving. Extend unit paving in the driveway from the back of the accessible public sidewalk bypass to 20'-0" on site and from curb to curb at the drive edges.



8. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.
  9. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
- The site is within an Alternative Retention Criteria Area. Verify specific design considerations with the Engineering Department.
  - Fire lanes need to be clearly defined. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies; or overhead structure, if allowed by Fire Department. Details of fire lane(s) are subject to approval of the Fire Department (Jim Walker 480-350-8341).
  - Underground all overhead utilities, excluding high-voltage transmission line unless project inserts a structure under the transmission line. Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
  - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
  - Driveways:
    - Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works/Traffic (Shelly Seyler 480-350-8219)
    - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult "Corner Sight Distance" leaflet, available from Development Services Counter or from John Brusky in Transportation (480-350-8219) if needed. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
  - Parking spaces:
    - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
    - At parking areas, provide demarcated accessible aisle for disabled parking.
    - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

## Lighting

10. Follow requirements of the Zoning and Development Code Part 4, Chapter 8, Lighting, except that Section 4-803(C)(5)(d) shall allow lenses visible above the horizontal plane no greater than seventeen hundred (1700) lumens.
- Follow the guidelines listed under appendix E "Photometric Plan" of the Zoning and Development Code.

## **Landscape**

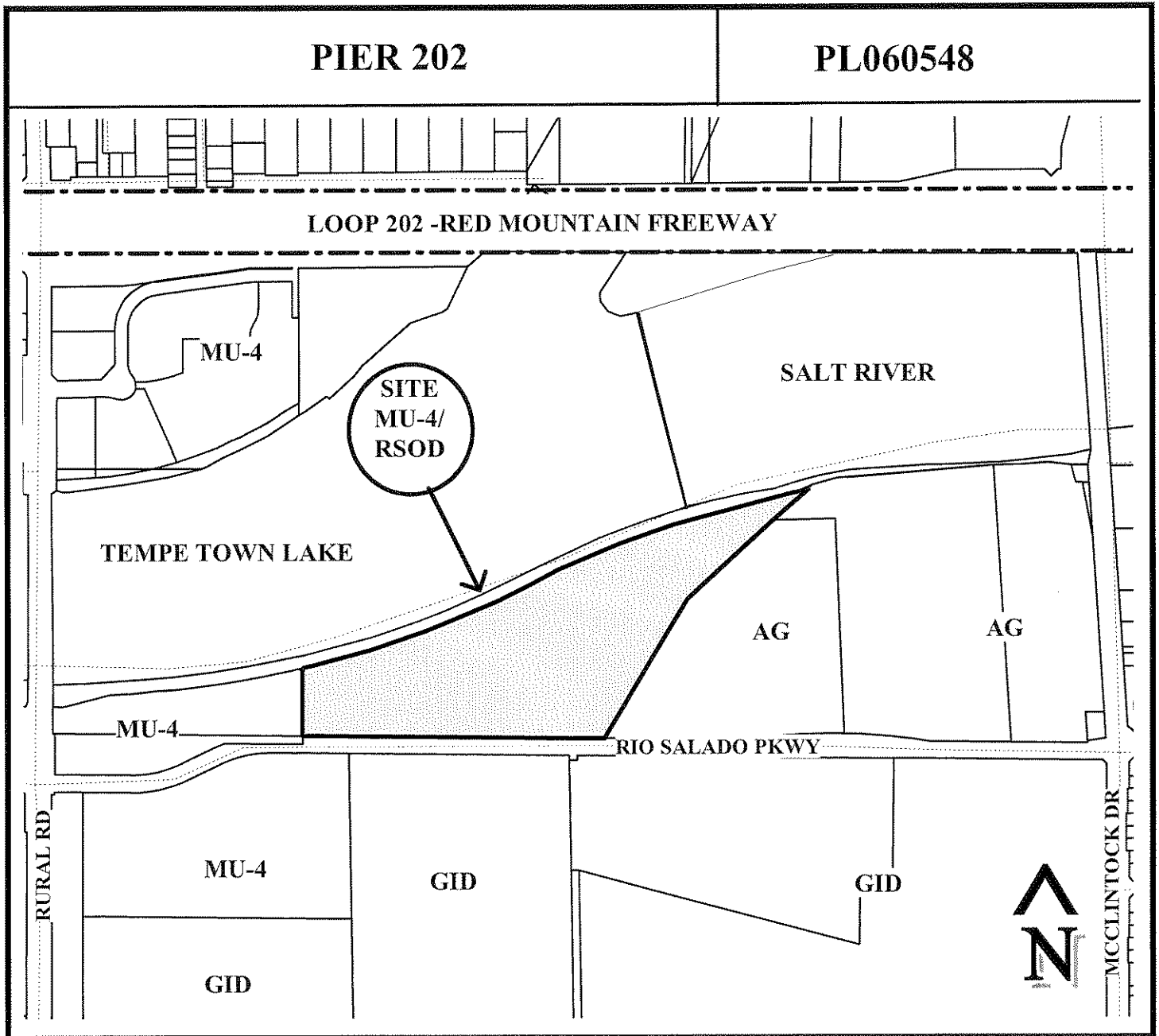
11. Follow requirements of the Zoning and Development Code Part 4, Chapter 7, Landscape and Walls.
12. Irrigation notes:
  - a. Provide dedicated landscape water meter.
  - b. Enclose backflow prevention device in a lockable, pre-manufactured cage.
  - c. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½" (if any). Provide details of water distribution system.
  - d. Locate valve controller in a vandal resistant housing.
  - e. Hardwire power source to controller (a receptacle connection is not allowed).
  - f. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
  - g. Design irrigation so proposed plants are irrigated as part of the reconfigured system at the conclusion of this construction.
13. Include requirement in site landscape work to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
14. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness or less. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department (602-364-0935). Notice of Intent to Clear Land form is available at [www.azda.gov](http://www.azda.gov). Follow the link to "form", to "native plants", and to "notice intent to clear land".
- Indicate the location of all exterior light fixtures on the site, landscape (and photometric) plans. Avoid conflicts with lights in order to maintain illumination levels for exterior lighting.

## **HISTORY & FACTS:**

- December 18, 1997 City Council approved the request for CIUDAD DEL LAGO-RIO EAST for a Zoning Map Amendment to MG, Mixed-Use General District and a Preliminary Planned Area Development consisting of 1,150,000 s.f. of building area on 26.49 acres, located at 1200 East Rio Salado Parkway.
- September 10, 1998 City Council approved the request for CIUDAD DEL LAGO-RIO EAST for a Final Planned Area Development consisting of the Peabody Hotel, located at 1200 East Rio Salado Parkway.
- December 10, 1998 City Council approved the time extension for CIUDAD DEL LAGO-RIO EAST for Phase I and II.
- February 7, 2007 Rio Salado Advisory Commission, Development Review Sub-Committee reviewed this request and recommended support.
- March 13, 2007 Development Review Commission at the request of the applicant continued the request for an Amended Planned Area Development Overlay and Use Permit for PIER 202 located at 1200 East Rio Salado Parkway.
- April 10, 2007 Development Review Commission approved the request for a Use Permit to allow tandem parking and recommended approval of an Amended Planned Area Development Overlay for PIER 202 located at 1200 East Rio Salado Parkway.
- May 3, 2007 City Council introduced and held the first public hearing for an Amended Planned Area Development Overlay for PIER 202 located at 1200 East Rio Salado Parkway.
- May 17, 2007 City Council approved the request for an Amended Planned Area Development Overlay for PIER 202 located at 1200 East Rio Salado Parkway.

## **ZONING AND DEVELOPMENT CODE REFERENCE:**

Section 6-306, Development Plan Review (landscape only)  
Section 6-307, Subdivisions



**Request**



PIER 202 (PL060548)

#### PROJECT DESCRIPTION:

The Pier at Tempe Town Lake is a new 28 acre mixed use development located in downtown Tempe adjacent to the vibrant Mill Avenue and ASU. The project will have 3.7 million square feet of office and retail, 1,870 residential units and one signature four star hotel. SWA was involved with initial conceptual studies that focused on integrating the Tempe Town Lake open space system with the project and trying to blur the lines between public and private development. SWA also created a street tree framework plan that establishes a spatial hierarchy and organizing element for the numerous gardens and plazas. Furthermore, the framework plan helps tie the site into the surrounding context by proposing Rio Salado landscape improvements and Tempe Town Lake improvements that connect to a larger city wide open space network. At the heart of the project is the main plaza which will include a fountain inspired by the surrounding natural arroyos. The fountain is designed in a way that encourages users to engage the fountain by gently sloping the plaza down to the waters edge. Floating pavers will allow cross access preventing the fountain from segmenting the plaza. Also located in the plaza will be outdoor dining and a small amphitheater that opens up to the lake beyond.

JUL 18 2007



PART OF THE NORTH HALF OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

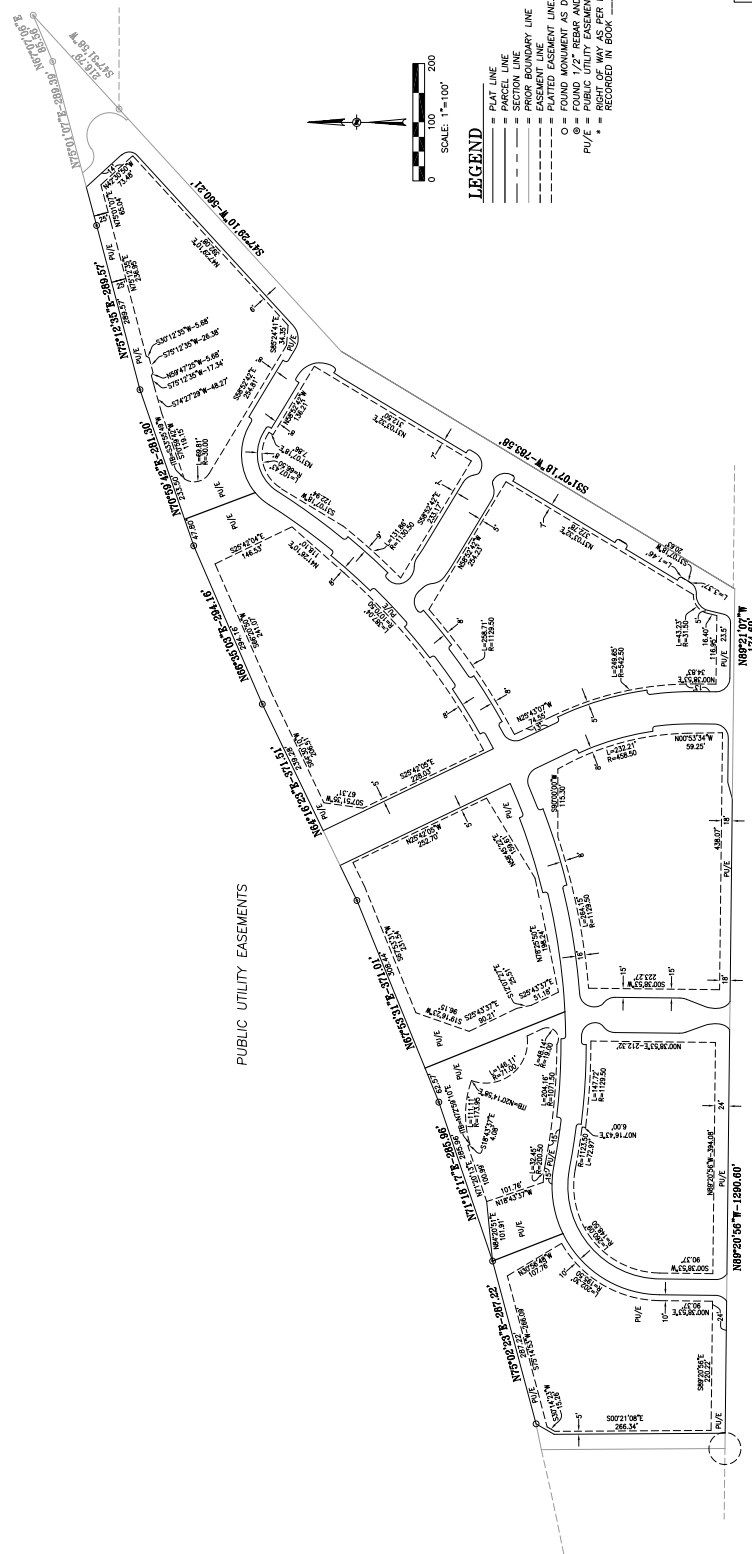


7373 E. Doubletree Ranch Road  
Suite B-155  
Scottsdale, Arizona 85258  
480-285-3000  
FAX 480-285-3100

SHEET 2 OF 3



# PIER 202 PART OF THE NORTH HALF OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



7373 E. Doubletree Ranch Road  
Scottsdale, Arizona 85238  
480-285-3000  
FAX 480-285-3100



A Project of:



Civil, Structural  
& Electrical Engineers

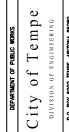


7311 E. DOWLATER LANE RD.  
SUITE B155  
TEMPE, AZ 85281  
480.345.3000

Landscape Architects:



150 E. BROADWAY  
SUITE 100  
PHOENIX, AZ 85001  
602.442.7241  
602.442.7242



DATE: 05/24/07  
DESIGNED BY: J. V. J.  
CHECKED BY: J. V. J.  
DATE: 07/13/07

DATE: JULY 13, 2007  
SHEET NO. 01  
SHEET TITLE: Notes & Legends

Notes & Legends  
SURVEYED BY:  
DESIGNED BY:  
CHECKED BY:  
DATE:

L002

# MATERIALS SCHEDULE

SYMBOLS	KEY	ITEM	DETAIL SHEET	MATERIAL	COLOR	FINISH / REMARKS
PAVING						
PV-1		PERIMETER SIDEWALK	4.6/L309	CAST IN PLACE CONCRETE	NATURAL GRAY	PER CITY OF TEMPE STANDARDS
PV-2		INTERIOR SIDEWALK PAVING	1.3,4.6,7.8/L309	CAST IN PLACE CONCRETE	TBD	SAWCUT JOINTS
PV-2A		CONCRETE BANDS	5/L309	CAST IN PLACE CONCRETE	TBD	SAWCUT JOINTS
PV-3		RETAL PAVING "A"	1.3,4.6,7.8/L309	CAST IN PLACE CONCRETE	TBD	INTEGRAL COLOR CONCRETE W/ HAND SEEDS AGGREGATE BANDS
PV-4		RETAL PAVING "B"	1.3,4.6,7.8/L309	CAST IN PLACE CONCRETE	TBD	INTEGRAL COLOR CONCRETE W/ HAND SEEDS AGGREGATE & TOP CAST FINISH
PV-5		PERIMETER ENTRY PAVING	1.3,4.6,7.8/L309	CAST IN PLACE CONCRETE	TBD	INTEGRAL COLOR CONCRETE W/ HAND SEEDS AGGREGATE & TOP CAST FINISH
PV-6		GARDEN PAVING	1.3,4.6,7.8/L309	POPHYRY STONE	TBD	4"x4"x2" MORTAR SET
PV-7A		PLAZA PAVING	2.5/L309	PRE-CAST CONCRETE UNIT PAVERS	TBD	24"x 3" W x 4" D (NOMINAL), MED. SANDBLAST, AVAILABLE THROUGH STEPSTONE PAVERS 1.800.572.9029
PV-7B		PLAZA PAVING	2.5/L309	PRE-CAST CONCRETE UNIT PAVERS	TBD	24"x 3" W x 4" D (NOMINAL), MED. SANDBLAST, AVAILABLE THROUGH STEPSTONE PAVERS 1.800.572.9029
PV-7C		PLAZA ACCENT PAVING	L104.2A, L104.2B, 2.5/L309	PRE-CAST CONCRETE UNIT PAVERS	TBD	24"x 3" W x 4" D (NOMINAL), MED. SANDBLAST, AVAILABLE THROUGH STEPSTONE PAVERS 1.800.572.9029
PV-8		COURTYARD PAVING	5/L309	PRE-CAST CONCRETE UNIT PAVERS	SANTA BARBARA SANDSTONE	HOLAND-STONE 1, RUNNING BOND PATTERN, AVAILABLE THROUGH ACKER-STONE 909.674.0047
PV-9		FOUNTAIN PEBBLE	1/L303, 1.2/L304, 1/L305, 1/L307, 3/L314	NATURALLY ROUNDED ROCK	SONORA SHINE	2" TO 3" AGGREGATE, AVAILABLE THROUGH ACKER-STONE 909.674.0047
PV-10		FOUNTAIN STEPPING STONES	1.2/L304, 5/L314	FLASTONE PAVES	BROCKLE BROWN	4" THICK, AVAILABLE THROUGH ACKER-STONE 909.674.0047
PV-11		FOUNTAIN BRIDGE	L303, 1.2/L305, L312	PE WOOD	TURNING LEAF	2-6 LUMBER (NOMINAL)
PV-12		CONCRETE STAIRS	1/L307	CAST IN PLACE INTEGRAL COLOR CONCRETE	TBD	6" BENCH, AVAILABLE THROUGH KELLY MAKEGON 619.891.1838
PV-13		RAISED FOUNTAIN EDGE	1/L310	CAST IN PLACE INTEGRAL COLOR CONCRETE	TBD	3/4" x 12" WIDE MEDIUM SANDBLAST FINISH
PV-14		PLANTER AGGREGATE MULCH	9/L401	ROUND AGGREGATE STONE	MISSION MOUNTAIN	3" PEBBLE, AVAILABLE THROUGH KRC ROCK 1.800.572.7625
SITE FURNISHINGS						
SF-1		KNIGHT BENCH		SEAMLESS ALUMINUM FRAME W/ PE WOOD	SILVER POWDERCOAT	
SF-2		TRASH RECEPTACLE		ALUMINUM FRAME W/ PE WOOD SLATS	VEGETARIAN POWDERCOAT	
SF-3		HAND RAIL	4.5,6.7/L310	STAINLESS STEEL	BRUSHED FINISH	AVAILABLE THROUGH LANDSCAPE FORMS 480.767.5333
SF-4		PERIMETER FENCE	L311	GALVANIZED STEEL	BLACK	STAINLESS STEEL FRAME W/ PE WOOD HAND RAIL
SITE WALLS						
W-1		18" HIGH CONCRETE SEAT WALL	1/L310	CAST IN PLACE INTEGRAL COLOR CONCRETE	TBD	ONE SIDE BEVELED W/ STAINLESS STEEL EDGE AND LIGHT, MED. SANDBLAST FINISH
W-2		18" HIGH CONCRETE SEAT WALL	2/L310	CAST IN PLACE INTEGRAL COLOR CONCRETE	TBD	STAINLESS FINISH W/ STAINLESS STEEL EDGE AND LIGHT, MED. SANDBLAST FINISH
W-3		3'-0" WIDE CONCRETE WALL	1/L306	CAST IN PLACE INTEGRAL COLOR CONCRETE	TBD	MED. SANDBLAST FINISH
W-4		ARROYO FOUNTAIN WALL	L301, L302	REINFORCED C/P CONC W/ STONEY PEAK LEDGESTONE VENEER	STONEY PEAK OR SHARLITE	AVAILABLE THROUGH SEPULVEDA BLDG. MATERIALS 949.347.2143
W-5		CASCADE FOUNTAIN	L308	CAST IN PLACE INTEGRAL COLOR CONCRETE	TBD	CONTACT SARAJINE TOWNROW

# TREE PLANTING LEGEND

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	FORM/BRANCHING	SPACING	MINIMUM SIZE	REMARKS
	FIC BEN	FICUS BENJAMINA	COLUMBIAN FIG	36" BOX	STANDARD	3' O.C. SINGLE ROW	9H x 4W	MATCHED, FULLY BRANCHED TO GROUND, SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	CER DES	CERCIDIUM X "DESERT MUSEUM"	DESERT MUSEUM HYBRID PALO VERDE	24" BOX	MULTI TRUNK	AS SHOWN	10H x 7W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	CER PRA	CERCIDIUM PRAECOX	PALO BREA	36" BOX	STANDARD	AS SHOWN	10H x 7W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	FRA VEL	FRAXINUS VELUTINA PRO GRANDIS	FAN-TEX ASH	36" BOX	STANDARD	AS SHOWN	15H x 7W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	LAG FAU	LAGOSTROEMIA X FAUBREI "TUSCUMBIA"	HYBRID GRAPE MYRTLE	36" BOX	MULTI TRUNK	AS SHOWN	10H x 7W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	JAC MIM	JACARANDA MIMOSIFOLIA	JACARANDA	48" BOX	STANDARD	AS SHOWN	14H x 7W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	PHO DAC	PHOENIX DACTYLIFERA "MEDJOL"	MEDJOL HYBRID DATE PALM	FIELD GROWN	MAX. 2' TALL AERIAL ROOTS	AS SHOWN	27" O.B. APICAL MERISTEM	MATCHED, STRAIGHT, SYMMETRICAL, WELL ROOTED, TO BE TAGGED BY LANDSCAPE ARCHITECT AT NURSERY
	PIT FLE	PITHECELLOBIUM FLEXICAULE	TEXAS EBONY	36" BOX	STANDARD	AS SHOWN	9H x 6W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	POP FRE	POPULUS FREMONTII	FREMONT POPLAR	24" BOX	STANDARD	AS SHOWN	13H x 5W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	PRO CHI	PROSOPIS CHILENSIS "PHOENIX"	HYBRID PHOENIX MESQUITE	36" BOX	STANDARD	AS SHOWN	13H x 7W	THORNLESS VARIETY, MATCHED, FULL, SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT
	QUE VR	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	36" BOX	STANDARD	AS SHOWN	11H x 5W	MATCHED, FULL SYMMETRICAL, WELL ROOTED AS FIELD ACCEPTED BY LANDSCAPE ARCHITECT

# UNDERSTORY PLANTING LEGEND

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
BOU SPP	BOUGAINVILLEA MARY PALMER'S ENCHANTMENT	MARY PALMER'S ENCHANTMENT BOUGAINVILLEA	15 GAL	4H x 2W 3' O.C. TRIANGULAR SPACED
CAE PUL	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	15 GAL	4H x 3W 48" O.C. SINGLE ROW
CON ONE	CONVOLVULUS ONEIDRUM	BUSH MORNING GLORY	5 GAL	2H x 18"W 24" O.C. TRIANGULAR SPACED
DAL CAP	DALEA CAPITATA "SIERRA GOLD"	SIERRA GOLD DALEA	1 GAL	12H x 2W 30" O.C. TRIANGULAR SPACED
DAL FRU	DALEA FRUTESCENS "SIERRA NEGRA"	BLACK DALEA	5 GAL	2H x 18"W 24" O.C. DOUBLE ROW
HES PAR	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	2H x 12"W 24" O.C. SINGLE ROW
LANT SPE	LANTANA SPECIES "NEW GOLD"	NEW GOLD LANTANA	1 GAL	1H x 12"W 18" O.C. TRIANGULAR SPACED
LEU FRU	LEUCOPHYLLUM FRUTESCENS "COMPACTA"	COMPACT TEXAS RANGER	5 GAL	42" O.C. TRIANGULAR SPACING
LEU LAE	LEUCOPHYLLUM LAECOSTICTUM	CHIHUAHUA SAGE	5 GAL	18H x 18"W 36" O.C. SINGLE ROW
MUL RG	MULDERBERGIA RIGIDA "NASHVILLE"	PURPLE MUHLY	5 GAL	12H x 12"W 14" O.C. TRIANGULAR SPACED
NOL MC	NOLINA MICROCARPA	BEAR GRASS	5 GAL	12H x 2W AS SHOWN
ROS OFF	ROSMARINUS OFFICINALIS "ARP"	ROSEMARY	5 GAL	18H x 12"W 30" O.C. SQUARE SPACING
SOH SCO	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUE STEM	1 GAL	12H x 12"W 18" O.C. TRIANGULAR SPACED
YUC RIP	YUCCA RUPICOLA	TWISTED LEAFED YUCCA	5 GAL	18H x 18"W AS SHOWN

A Project of:



Barker  
 Pacific  
 Group  
 Laguna Pacific Capital Inc.  
 10000 N. 10th Ave., Suite 100  
 Scottsdale, AZ 85258  
 480.255.5000

Civil, Structural  
 & Electrical Engineers:



771 N. DOUBLETREE RANCH RD.  
 SCOTTSDALE, AZ 85258  
 480.255.5000

Landscape Architects:



Laguna Pacific  
 771 N. Doubletree Ranch Rd.  
 Scottsdale, AZ 85258  
 480.255.5000

510 N. BROADWAY  
 LAGUNA BEACH, CA 92653  
 949.447.1401  
 949.447.1471

DEPARTMENT OF PUBLIC WORKS  
 City of Tempe  
 DIVISION OF ENGINEERING  
 P.O. BOX 9000 TEMPE, ARIZONA 85286



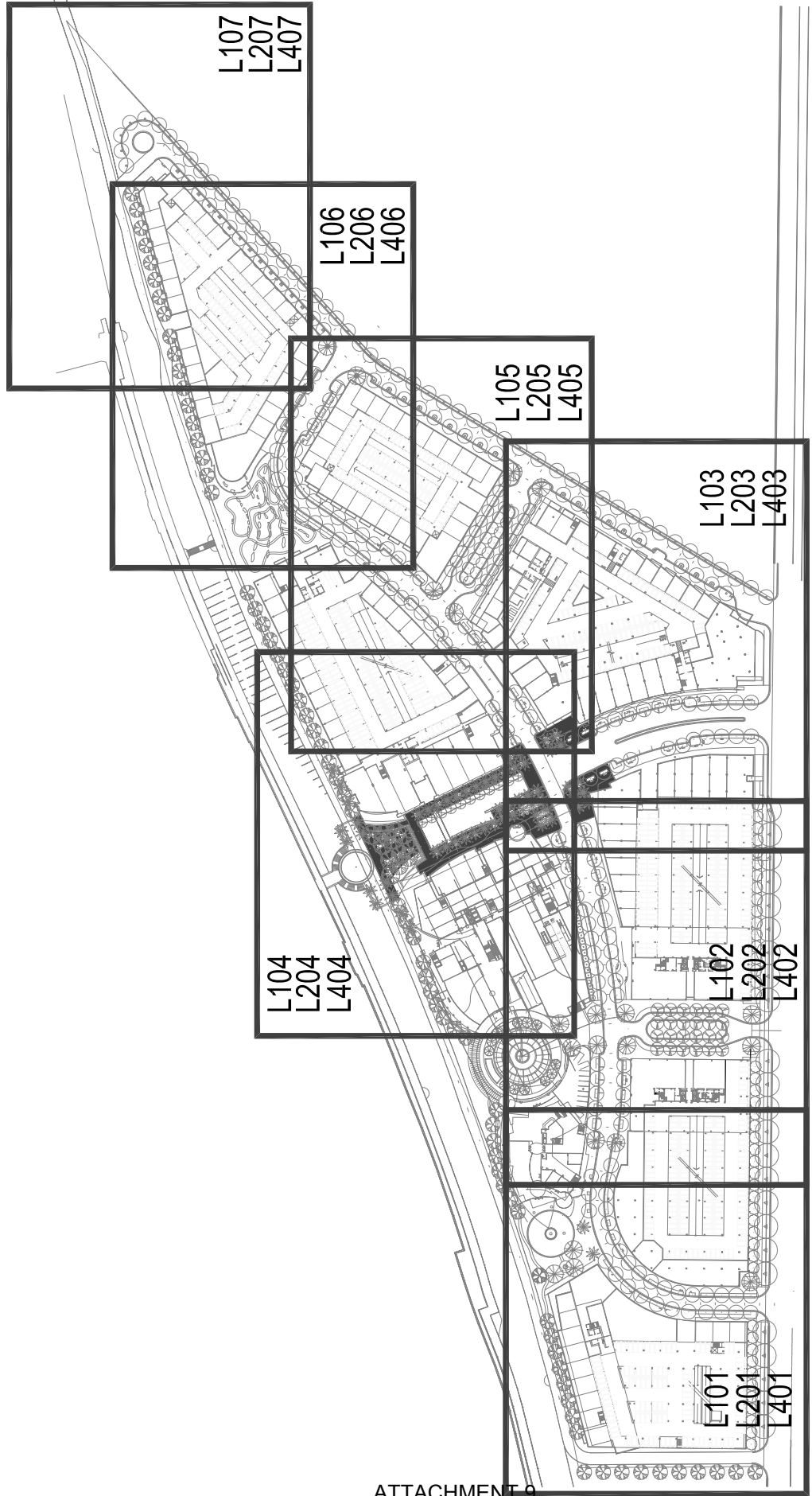
REVISIONS	DATE
60% REVIEW	05/04/07
90% CD	06/12/07
100% CD	07/13/07

DATE:	JULY 13, 2007
DRAWN BY:	KS, UM, MC
CHECKED BY:	KS
SCALE:	1" = 80'-0"

Sheet Index Plan

SUBMITTED BY:	
DESIGNED BY:	
DRAWN BY:	KS, UM, MC
CHECKED BY:	KS
SCALE:	1" = 80'-0"

0 40 80 160  
 L003





**A Project of :**



Civil, Structural  
& Electrical Engineers :



733 E. DOUBLETREE RANCH RD.  
SUITE B155  
SCOTTSDALE, AZ 85258  
480.285.3000

**Landscape Architects :**

[illegible]

580 Broadway  
Suite 200  
Laguna Beach, CA  
Fax 949.494.7800  
949.497.5471

DEPARTMENT OF PUBLIC WORKS  
City of Tempe  
DIVISION OF ENGINEERING  
P.O. Box 8000, Tempe, Arizona 85288



REVISIONS:	DATE
60% REVIEW	05/04/07
90% CD	06/12/07
100% CD	07/13/07

DATE:	JULY 13, 2007
PROJECT NO:	LPEN601
SHEET:	OF:
SHEET TITLE:	

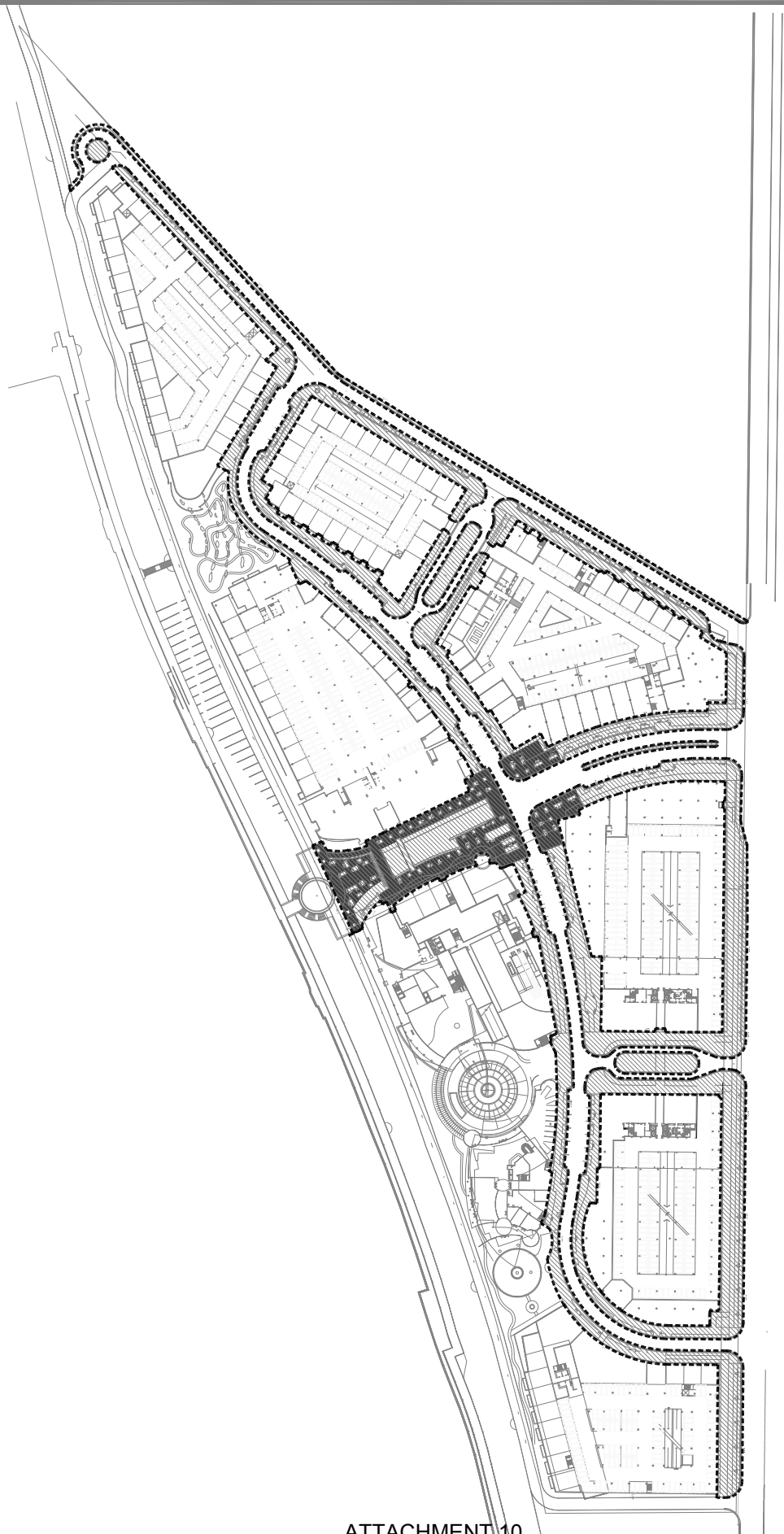
Limit of Work Line  
Plan

SURVEYED BY:  
DESIGNED BY:  
DRAWN BY: KS, MM, MC  
CHECKED BY: KS, MM  
SCALE: 1" = 80'-0"

## LEGEND

LIMIT OF THE WORK LINE

L004



A Project of:



Civil, Structural  
& Electrical Engineers



7115 E. DOUBLEBEE RANCH RD  
SUITE 800  
TEMPE, AZ 85281  
480.355.3000

Landscape Architects:



180 E. McDowell  
SUITE 100  
TEMPE, AZ 85281  
480.355.3000

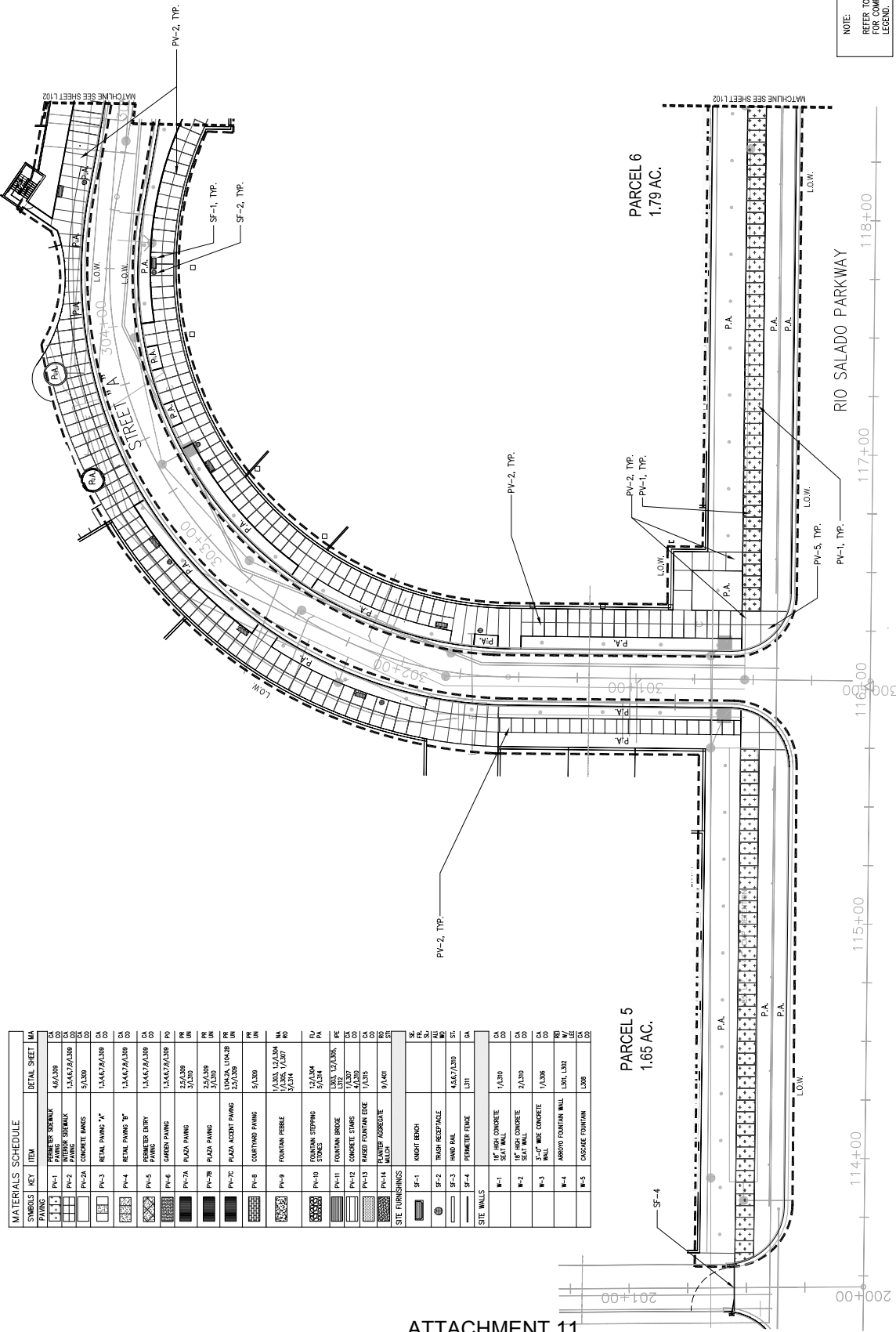


REVISIONS:  
DATE: 05/04/07  
BY: [Signature]  
CHECKED BY: [Signature]  
DATE: 07/13/07

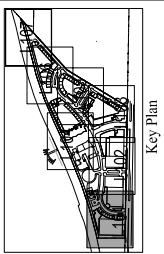
DATE: JULY 13, 2007  
SHEET NO. 02  
SHEET TITLE: HARDSCAPE LAYOUT & MATERIAL PLAN

DESIGNED BY: KS, MW, MC  
DRAWN BY: KS, MW, MC  
SCALE: 1" = 20'-0"  
0 10 20 40

L101



NOTE:  
REFER TO SHEET L002  
FOR COMPLETE MATERIAL  
LEGEND.



A Project of:



Civil, Structural  
& Electrical Engineers



7371 E. DOUGLASS RANCH RD.  
SUITE B115  
KORONA, AZ 85208  
480.285.5000

Landscape Architects:



Stephen Breen  
Landscape Architect  
1000 N. 10th St., Suite 100  
Tempe, AZ 85281  
480.457.2471

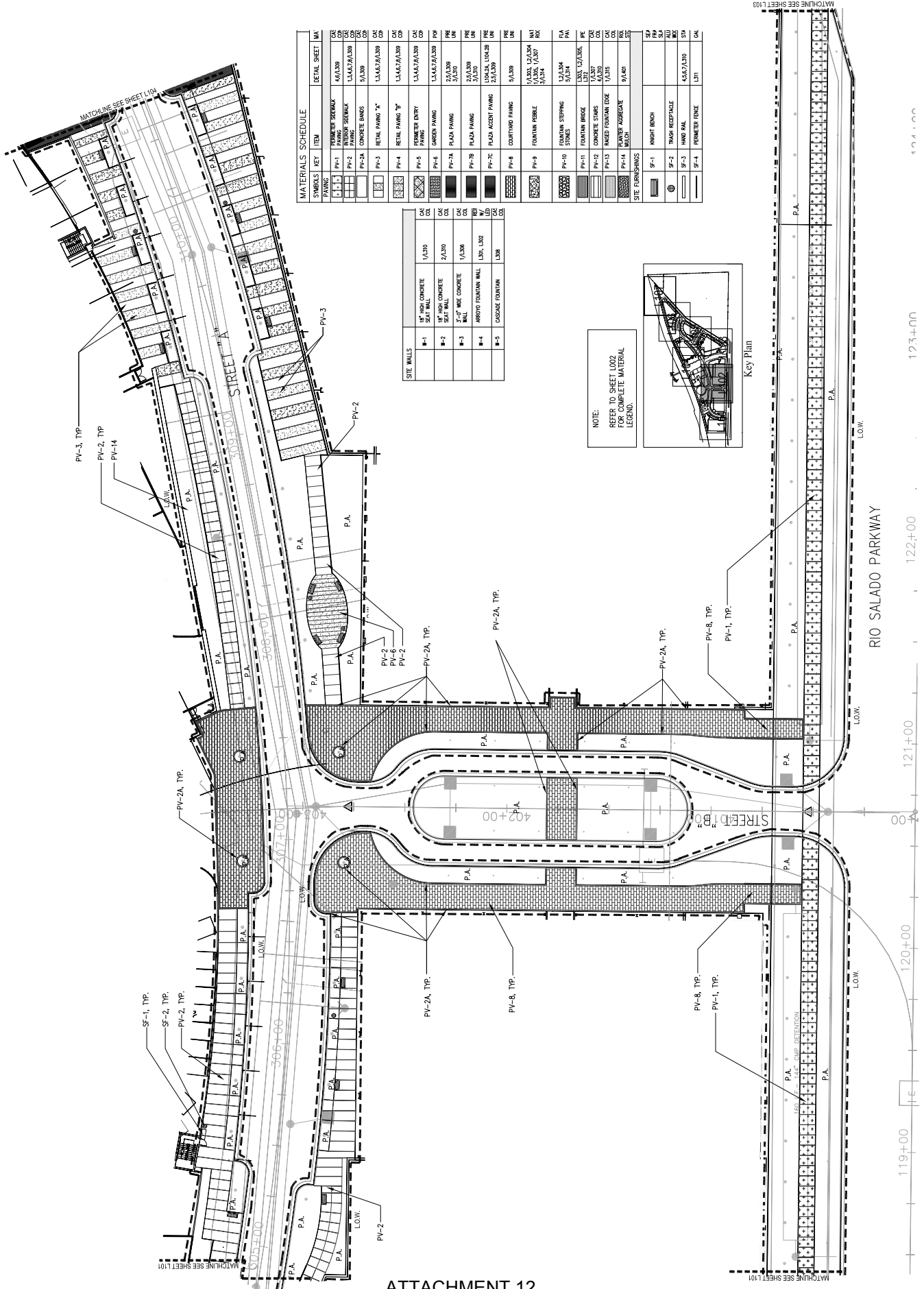


REVISIONS:  
DATE: 05/04/07  
BY: [Signature]  
CHECKED BY: [Signature]  
DATE: 07/12/07

DATE: JULY 13, 2007  
PROJECT NO.: 07-0001  
SHEET TITLE: Landscape Layout and Material Plan

SUBMITTED BY:  
DESIGNED BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 1" = 20'-0"

L102



A Project of:



LAAGUNA PACIFIC



BARKER  
PACIFIC  
GROUP

LAAGUNA PACIFIC GROUP  
LAAGUNA PACIFIC GROUP  
LAAGUNA PACIFIC GROUP

Civil, Structural  
& Electrical Engineers



LAAGUNA PACIFIC

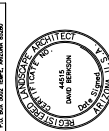
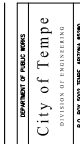
7731 E. DOWNTOWN RANCH RD., SUITE B155  
SCOTTSDALE, AZ 85258  
480.285.5000

Landscaping Architects:



LAAGUNA PACIFIC

10000 N. 19th Ave., Suite 100  
Phoenix, AZ 85021  
602.998.1515  
602.998.1516  
602.998.1517

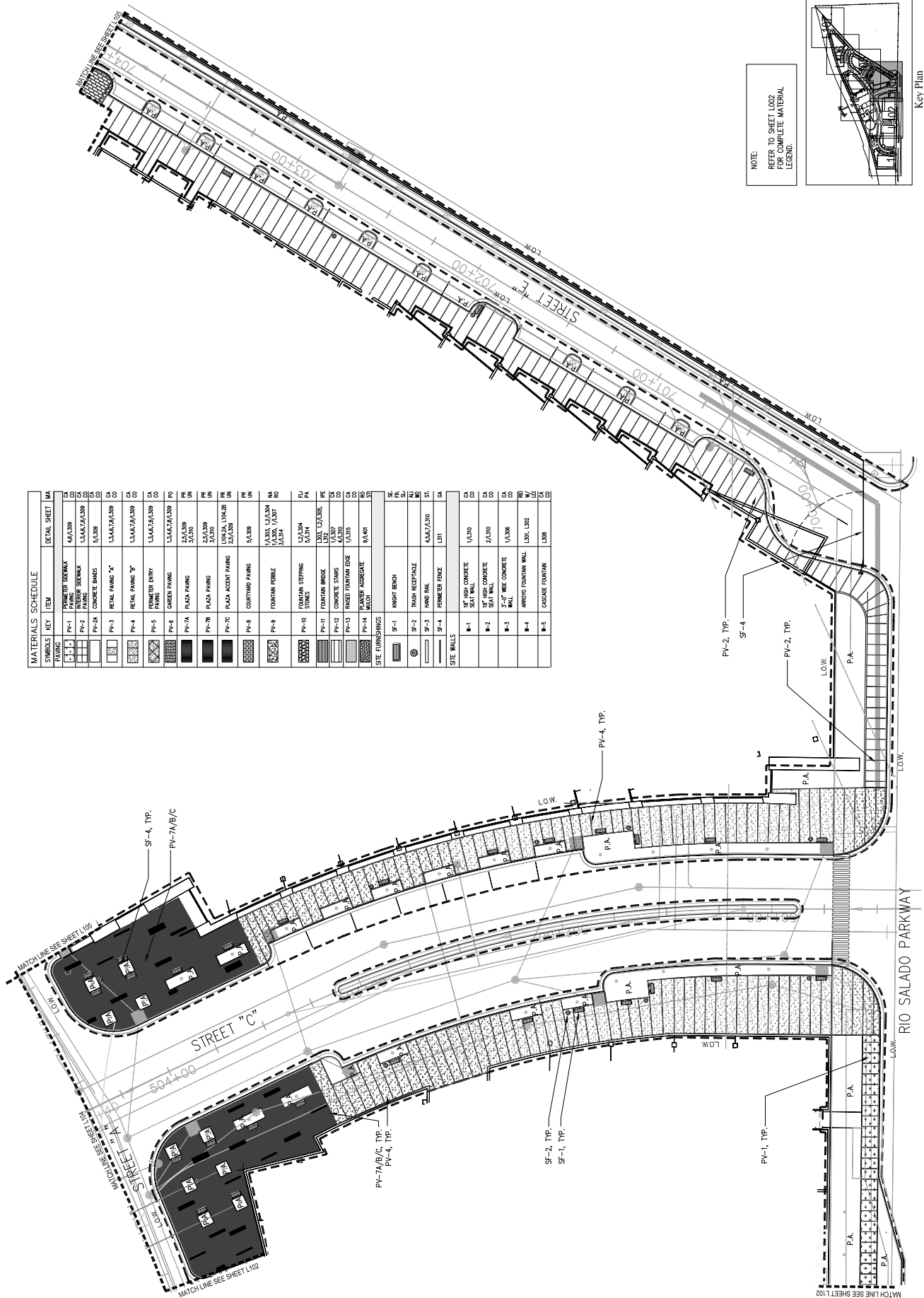


REVISIONS: DATE  
REV. NO. 05/04/07  
REV. NO. 06/12/07  
REV. NO. 07/12/07

DATE: JULY 13, 2007  
PROJECT NO.: 07-001  
SHEET NO.: 01  
SHEET TITLE: Hardscape, Layout & Material plan

SUBMITTED BY:  
DESIGNED BY: US, MM, MC  
CHECKED BY: AS, MM  
SCALE: 1" = 20'-0"

0 10 20 40  
L103







Battelle Pacific Northwest Corporation Inc.  
4200 McGraw-Hill Building Seattle, WA 98106



7373 E. DOUBLETREE RANCH RD.  
SUITE B155  
SCOTTSDALE, AZ 85258

Landscape Architects :



Broadway  
#200  
Seaside Beach CA 92651  
949.494.7861  
497.5471

DEPARTMENT OF PUBLIC WORKS

City of Tempe

DIVISION OF ENGINEERING



REVISIONS:	DATE
10% REVIEW	05/04/07
10% CD	06/12/07
10% CD	07/12/07

DATE: JULY 13, 2007  
PROJECT NO: LPEN601  
SHEET: OF:  
SHEET TITLE:

## Hardscape, Layout and Material Plan

VEYED BY: \_\_\_\_\_  
IGNED BY: \_\_\_\_\_  
OWN BY: KS, MM, MC  
CKED BY: KS, MM

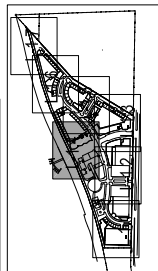
[illegible]

Y 104

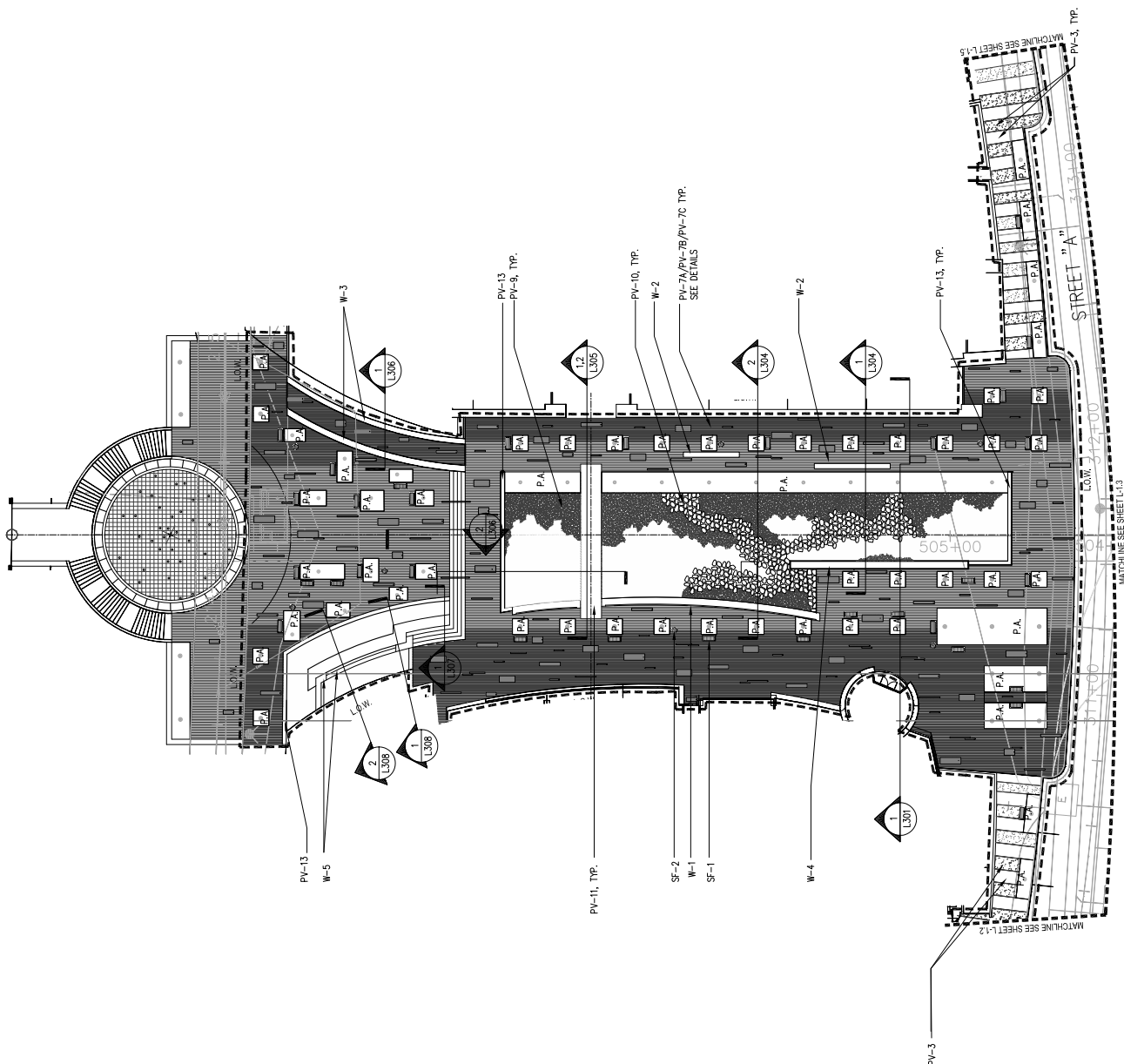
4017

[illegible]

NOTE:  
REFER TO SHEET L002  
FOR COMPLETE MATERIAL  
LEGEND.



### Key Plan



### Key Plan

A Project of:



Civil, Structural  
& Electrical Engineers



7718 INGLETERRE RANCH RD.  
SUITE B15  
SCOTTSDALE, AZ 85258  
480.285.3800

Landscape Architects:



Laguna Pacific  
100 S. 10th Avenue  
Suite 200  
Scottsdale, AZ 85258  
480.477.4471



City of Tempe  
DIVISION OF ENGINEERING  
P.O. BOX 5000, Tempe, Arizona 85286



REVISIONS  
DATE  
BY  
FOR REVIEW  
06/24/07  
90% CD  
06/12/07  
100% CD  
07/13/07

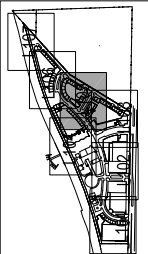
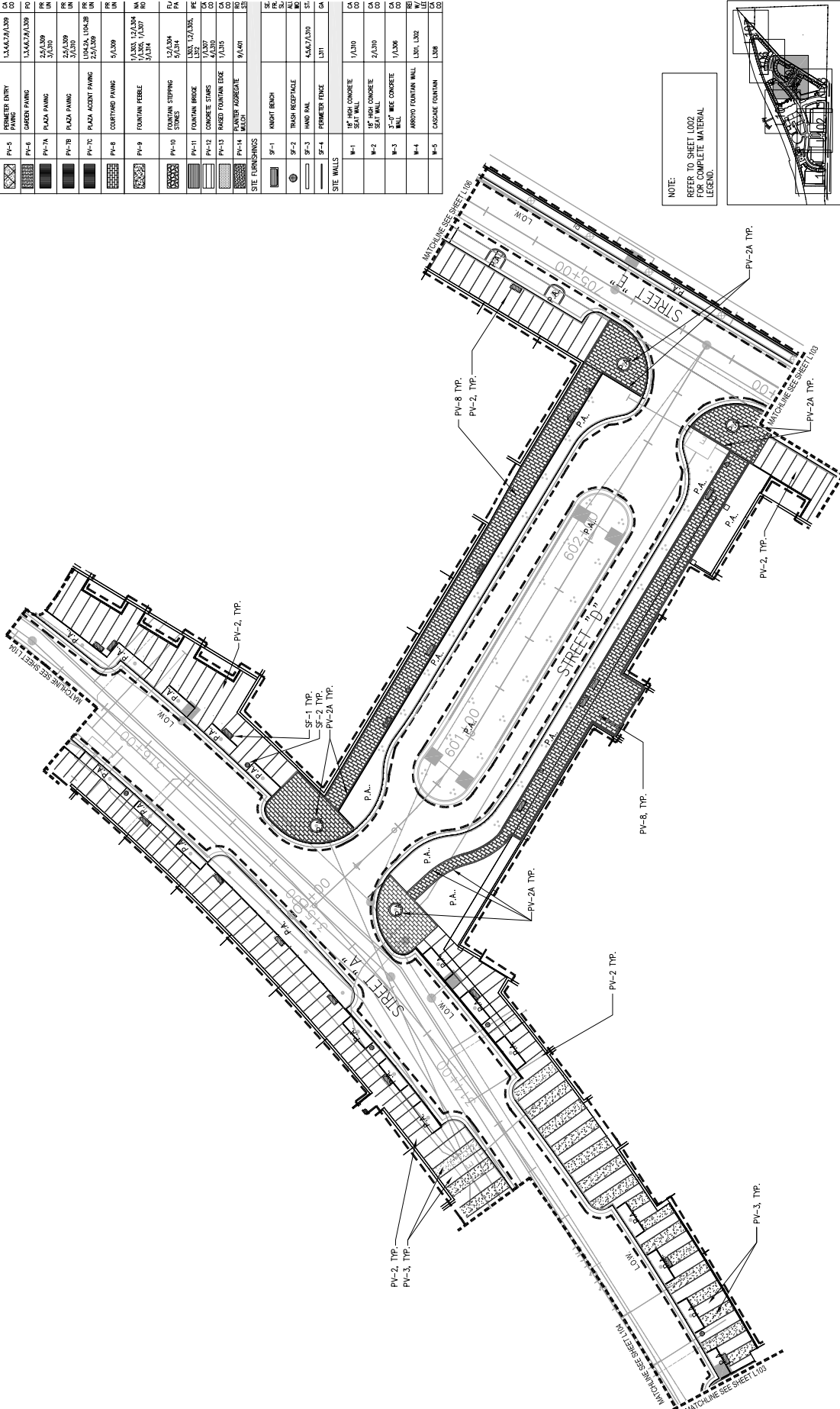
DATE: JULY 13, 2007  
PROJECT NO: 07-000000  
SHEET NO: 07-000000  
SHEET TITLE: 1 = 20' - 0"

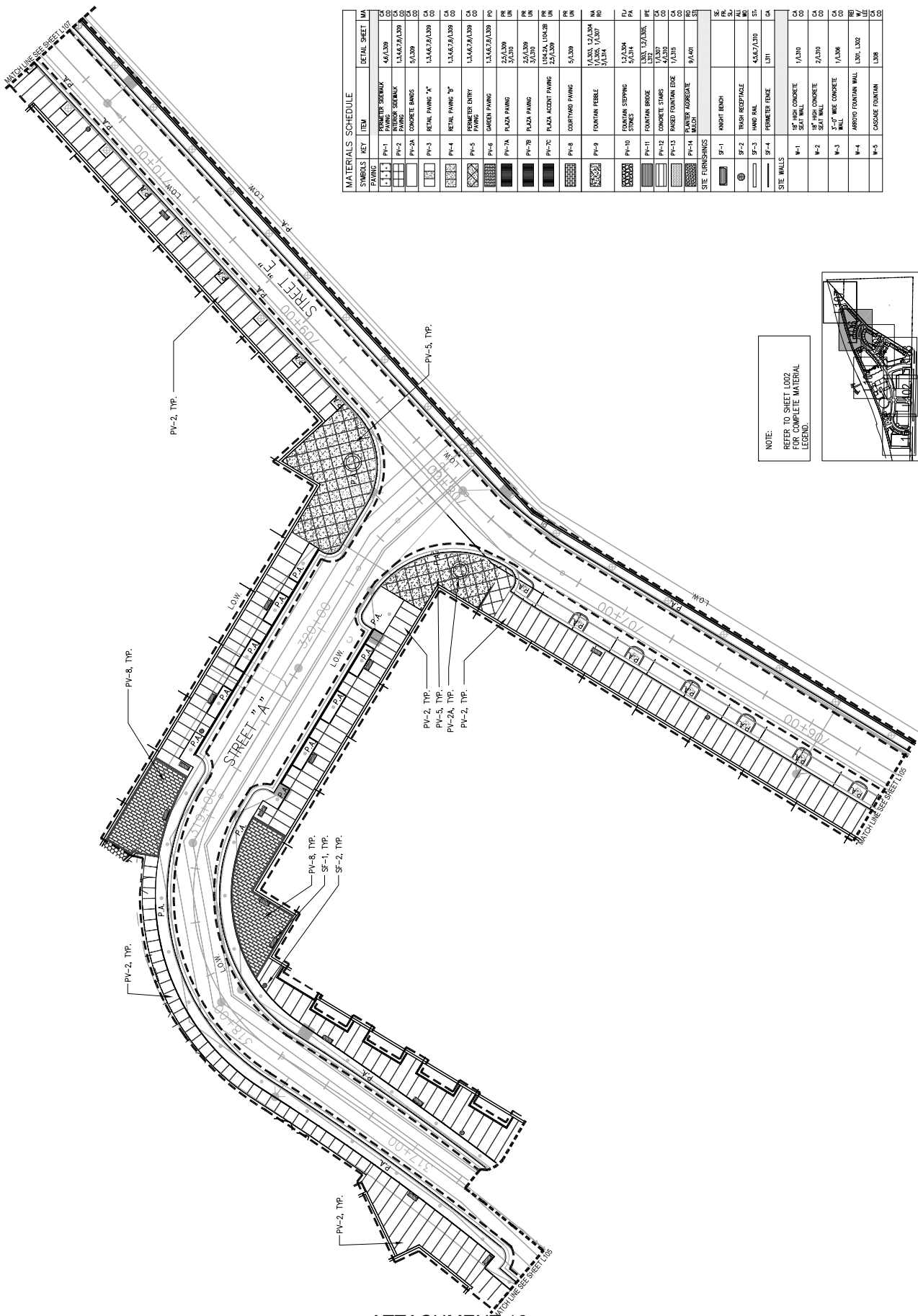
Hardscape, Layout &  
Material Plan

SURVEYED BY: KS, MM, MC  
DESIGNED BY: KS, MM, MC  
CHECKED BY: KS, MM, MC  
SCALE: 1" = 20' - 0"

0 10 20 40  
L105

MATERIALS SCHEDULE			
SYMBOLS	KEY	ITEM	DETAIL SHEET
PAVING			
[Symbol]	PA-1	PERIMETER SIDEWALK	4.6/3.09
[Symbol]	PA-2	INTERIOR SIDEWALK	1.5A/2.2A/3.09
[Symbol]	PA-3A	CONCRETE MANS	5.5/3.09
[Symbol]	PA-3	RETAIL PAVING "A"	1.5A/2.2A/3.09
[Symbol]	PA-4	RETAIL PAVING "B"	1.5A/2.2A/3.09
[Symbol]	PA-5	PROMOTER ENTRY PAVING	1.5A/2.2A/3.09
[Symbol]	PA-6	GREEN PAVING	1.5A/2.2A/3.09
[Symbol]	PA-7A	PLAZA PAVING	2.5/3.09
[Symbol]	PA-7B	PLAZA PAVING	2.5/3.09
[Symbol]	PA-7C	PLAZA ACCENT PAVING	1.0A/2A, 1.0A/2B, 2.5/3.09
[Symbol]	PA-8	COURTYARD PAVING	5.5/3.09
[Symbol]	PA-9	FOUNTAIN PEBBLE	1.5A/2A, 1.5A/2B, 3.0/3.09
[Symbol]	PA-10	FOUNTAIN STEPPING STONES	1.5/2.2A, 1.5/2.2B, 3.0/3.09
[Symbol]	PA-11	FOUNTAIN BRIDGE	1.5/2.2A/3.09
[Symbol]	PA-12	CONCRETE STAIRS	1.5/2.2A/3.09
[Symbol]	PA-13	PAVED FOUNTAIN EDGE	1.5/3.09
[Symbol]	PA-14	PLASTER AGGREGATE MICH	9.6/4.01
SITE FURNISHINGS			
[Symbol]	SF-1	KNIGHT BENCH	1.5/2.2A, 1.5/2.2B, 3.0/3.09
[Symbol]	SF-2	TRASH RECEPTACLE	4.5A/2.2A/3.09
[Symbol]	SF-3	HAND RAIL	4.5A/2.2A/3.09
[Symbol]	SF-4	PERIMETER FENCE	1.5/1
SITE WALLS			
[Symbol]	W-1	18" HIGH CONCRETE SEAT WALL	1.5/3.09
[Symbol]	W-2	18" HIGH CONCRETE SEAT WALL	2.0/3.09
[Symbol]	W-3	3"-1" WIDE CONCRETE WALL	1.5/3.09
[Symbol]	W-4	ARBORETUM FOUNTAIN WALL	1.0A, 1.0B, 2.5/3.09
[Symbol]	W-5	CASCADE FOUNTAIN	1.0A, 1.0B


























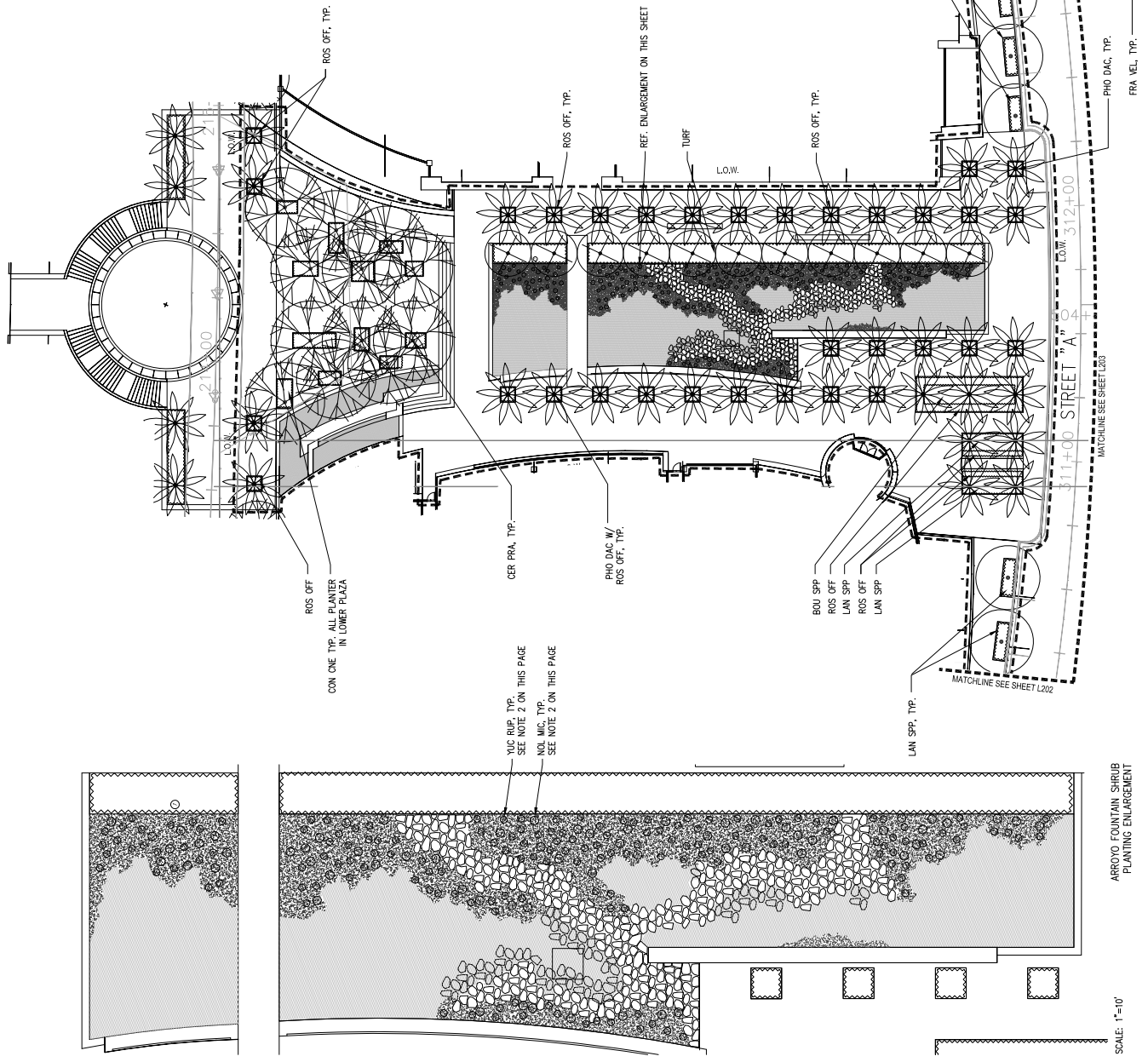
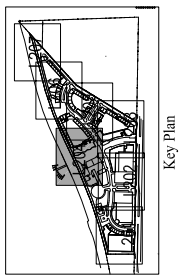


TREE PLANTING LEGEND				
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE
	PC BEN	FICUS BENJAMINA	COLUMBIA FICUS	30" BOX
	QR RES	CERESIA X TERSERI MUSEUM	RESERT MUSEUM HYBRID PALO NEGRO	24" BOX
	QR PRA	CERESIA PRECOX	PALO BREA	30" BOX
	PRA VEL	FRAXINUS VELUTINA "NO BRANCH"	FAN-TEX ASH	30" BOX
	LAG FAU	LACONOSTOMA X FAUBERT "TUSCARORA"	HYBRID CRAPPE MYRTLE	30" BOX
	JAC MM	JACARANDA MINUSFLOUA	JACARANDA	48" BOX
	PHO DAC	PHORBEA DACTYLIFERA MEDICOL	MEDICOL HYBRID DATE PALM	FIELD GROWN
	PII FILE	PHICELOCLADIA FLOSCULE	TEXAS EBONY	30" BOX
	POP PRE	POPULUS FREDETII	FRONTIER POPLAR	24" BOX
	PRO OH	PROSPERO CHENSIS "PACIFIC"	HYBRID PINEAPPLE MESQUITE	30" BOX
	QUE NR	QUERCUS MOBINANA	SOUTHERN LIVE OAK	30" BOX
UNDERSTORY PLANTING LEGEND				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	
BOO SPR	BOERHAVIA MARY PALMER'S ENHANCEMENT	BOERHAVIA'S ENHANCEMENT BOERHAVIA	15 GAL	
DAE PUL	CASCAPILLA PULCHERRIMA	RED BIRD OF PARADISE	15 GAL	
CON ONE	CONVOLVULUS CORDATUS	BUSH MORNING GLORY	5 GAL	
DAL CAP	DALEA CAPATA "SIERRA GOLD"	SIERRA GOLD DALEA	1 GAL	
DAL PRU	DALEA PRUTENSIS "SIERRA NEGRA"	BLACK DALEA	5 GAL	
MES PAR	HEPERALOE PARVIFLORA	RED YUCCA	5 GAL	
LAM SPE	LANTANA SPECIES "NEW GOLF"	NEW GOLD LANTANA	1 GAL	
LED PRU	LEONARDOPOLY PRUTENSIS "COMPACT"	COMPACT TEXAS DANGER	5 GAL	
LED LAE	LEODORPHEUM LACINATUM	OHIAHUAHUA SAGE	5 GAL	
MAL RO	MALVACERATA BORDA "NIGHTMARE"	PURPLE BUSHY	5 GAL	
NOL MC	NOLAN MICROCARPA	BEAR GRASS	5 GAL	
ROS OFF	ROSMARINUS OFFICINALIS "ARP"	ROSEMARY	5 GAL	
SOH SOD	SCHLOZOPHRUM SCOPARIUM	LITTLE BLUE STEM	1 GAL	
YUC BIP	YUCCA BIPOLARA	TWISTED LEAFED YUCCA	5 GAL	

NOTES:

1. REF  
PLANTING

2. ALL  
APPROV  
FIELD P







A Project of:



Civil, Structural  
& Electrical Engineers



7771 E. DOUBLE TREE BLVD.  
SUITE 100  
SCOTTSDALE, AZ 85261  
480.385.3800

Landscape Architects :



Laguna Pacific  
Landscape Architects  
1711 E. DOUBLE TREE BLVD., SUITE 100  
SCOTTSDALE, AZ 85261  
480.385.3800

City of Tempe  
DIVISION OF ENGINEERING  
PLANTING SPECIFICATIONS

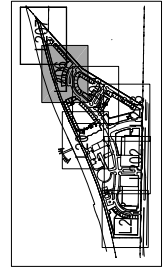
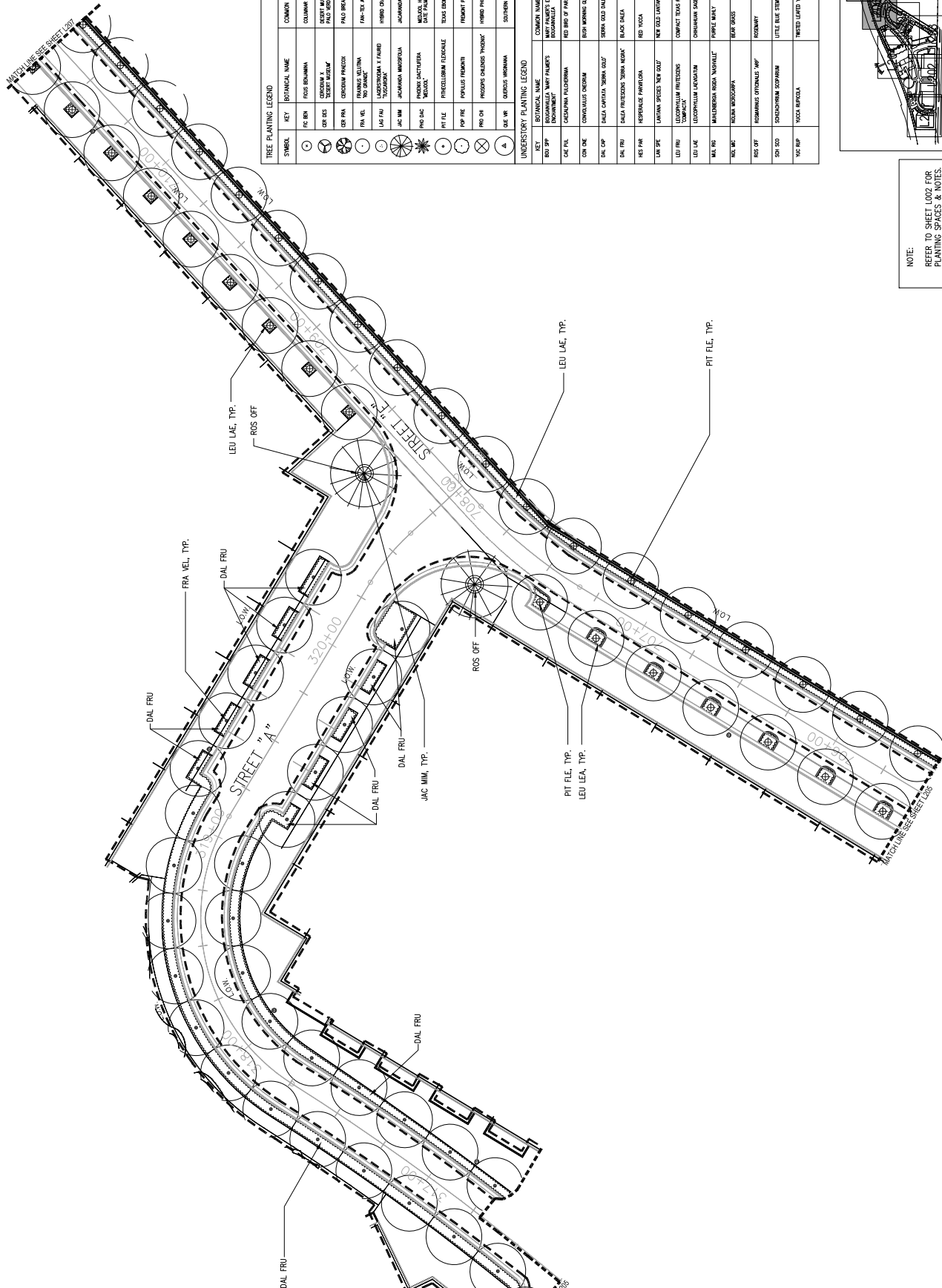


DATE: 08/04/07  
CHECKED BY: KS, MM, MC  
DATE: 08/13/07  
DATE: 07/13/07  
PROJECT NO.: 05  
SHEET NO.: 05  
SHEET TITLE:

Planting Plan

DESIGNED BY: KS, MM, MC  
DRAWN BY: KS, MM, MC  
CHECKED BY: KS, MM, MC  
DATE: 08/13/07

0 10 20 40  
L206



NOTE:  
REFER TO SHEET L202 FOR  
PLANTING SPACES & NOTES.

Key Plan

A Project of:



Civil Structural  
& Electrical Engineers



Landscape Architects:

510 Broadway  
Suite 200  
Scottsdale, AZ 85251  
949-481-5471



REVISIONS	DATE
1.00	06/13/07
2.00	06/14/07
3.00	07/13/07

DATE:	JULY 13, 2007
PROJECT NO.:	07
SHEET NO.:	07
SHEET TITLE:	Planting Plan

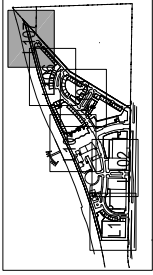
DRAWN BY:	KS, MM, MC
CHECKED BY:	KS, MM
SCALE:	AS SHOWN

0 10 20 40

L207

TREE PLANTING LEGEND			
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME
(C)	PC BEN	PODS BENJAMINA	COLUMBIAN FIG
(C)	QER DES	QUERCUS X QUERCUS DESERTI	DESERT MUSEUM HYBRID
(C)	QER PRA	QUERCUS PARVIFLORA	PALE BIRCH
(C)	FRA VEL	FRAUENHAAR	WAX-LEAF YEW
(C)	LAC FAL	LACINIA FALCATA	HYBRID CHAPE WATTLE
(C)	JAC MM	JACARANDA MINISTOLA	JACARANDA
(C)	PHO DAC	PHOENIX DACTYLIFERA	MIDLAND HYBRID
(C)	PTI FLE	PRINCELELLUM FLEICHALE	TEXAS BERRY
(C)	POP FRE	POPULUS FREMONTI	FRONTON POPLAR
(C)	PRO CH	PROSPER CHLORIS 'PROSPER'	HYBRID PINEAPPLE MESQUITE
(C)	QER VR	QUERCUS VERNA	SOUTHERN LIVE OAK
UNDERSTORY PLANTING LEGEND			
KEY	BOTANICAL NAME	COMMON NAME	SIZE
BOU SP	BOUQUILLIA MARY PALMER'S	MARY PALMER'S ENCHANTMENT	15 GAL
CAE PUL	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	15 GAL
CON ONE	CONVOLVULUS ONEIDAM	BUSH MORNING GLORY	5 GAL
DAL CAP	DALEA CAPATA 'SIERRA GOLD'	SIERRA GOLD DALEA	1 GAL
DAL FRU	DALEA FRUTICOSA 'SIERRA NEGRA'	BLACK DALEA	5 GAL
HES PAR	HERPESALIS PARVIFLORA	RED YUCCA	5 GAL
LAV ONE	LAVANDULA SPECIES 'NEW GOLD'	NEW GOLD LAVANDULA	1 GAL
LEU FRU	LEUCOPHYLLUM FRUTICOSA	COMPACT TEXAS RANGER	5 GAL
LEU LAE	LEUCOPHYLLUM LAEVIGATUM	CHRISTIAN SAGE	5 GAL
MUL RIG	MULBERRIA RIGIDA 'NASHVILLE'	PURPLE MULBERRY	5 GAL
NOL MC	NOLINA MICROCARPA	BEAR GRASS	5 GAL
ROS OFF	ROSEMARY OFFICINALIS 'ASP'	ROSEMARY	5 GAL
SON SDO	SONCHASTRUM SODASTRUM	LITTLE BLUE STEM	1 GAL
YUC RUP	YUCCA RUPICOLA	WAXED LEAVED YUCCA	5 GAL

NOTE:  
REFER TO SHEET L002 FOR  
PLANTING SPACING & NOTES.



Key Plan

A Project of:



Civil Structural  
& Electrical Engineers



Landscape Architects:  
Laguna Beach  
San Diego  
Los Angeles  
Houston  
Chicago  
Dallas  
Phoenix  
Portland  
Seattle  
Denver  
San Francisco  
New York  
Los Angeles  
San Diego  
Phoenix  
Portland  
Seattle  
Denver  
San Francisco  
New York

City of Tempe  
Division of Engineering

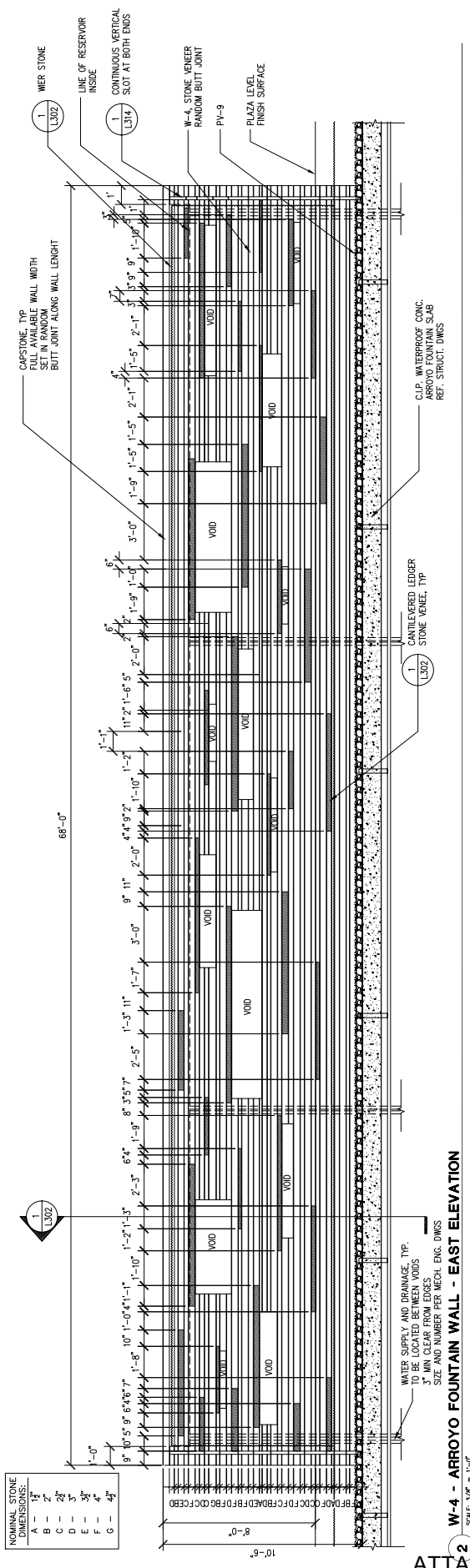


REVISIONS	DATE
1	06/02/07
2	06/12/07
3	07/13/07

DATE: JULY 13, 2007  
PROJECT NO: LPM001  
SHEET TITLE: ATROYO FOUNTAIN Wall Elevations

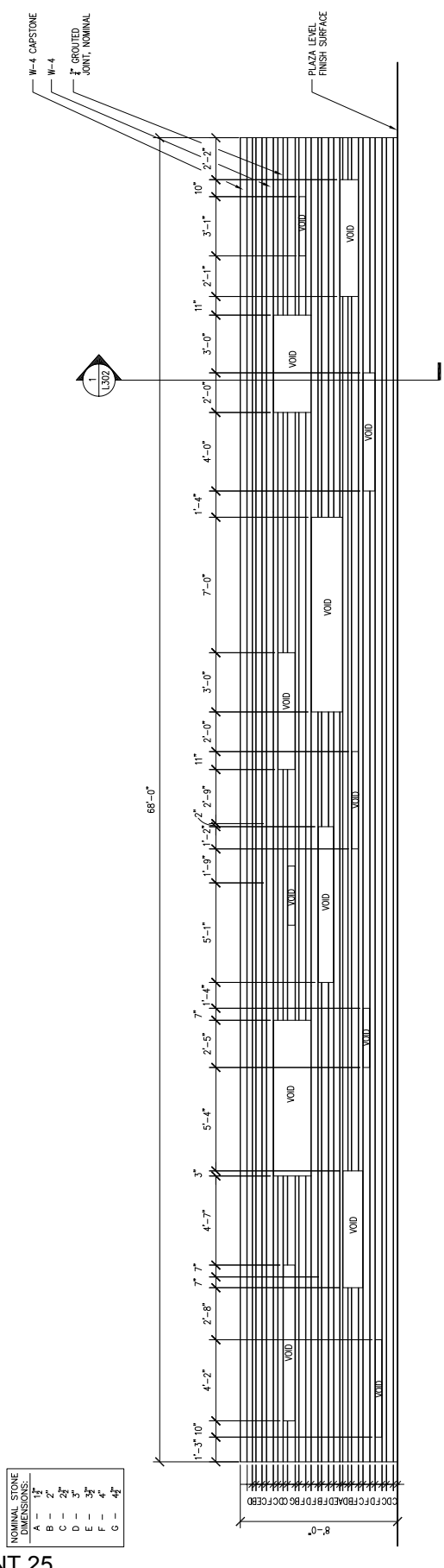
DESIGNED BY: KS, MML, MC  
DRAWN BY: KS, MML, MC  
CHECKED BY: KS, MML, MC  
SCALE: AS SHOWN

L301



W-4 - ARROYO FOUNTAIN WALL - EAST ELEVATION  
SCALE: 3/8" = 1'-0"

NOMINAL STONE DIMENSIONS:
A - 12"
B - 24"
C - 24"
D - 36"
E - 36"
F - 48"
G - 48"



W-4 - ARROYO FOUNTAIN WALL - WEST ELEVATION  
SCALE: 3/8" = 1'-0"

NOMINAL STONE DIMENSIONS:
A - 12"
B - 24"
C - 24"
D - 36"
E - 36"
F - 48"
G - 48"

A Project of:



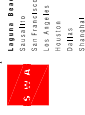
Baker Pacific Group

Civil, Structural  
& Electrical Engineers



7111 E. DOUBLETREE RANCH RD.  
SUITE 1015  
SCOTTSDALE, AZ 85258  
480.285.3800

Landscape Architects:



501 Broadway  
LAUREL BLVD. SUITE 100  
LOS ANGELES, CA 90013  
310.461.8471

DEPARTMENT OF PUBLIC WORKS  
City of Tempe  
DIVISION OF ENGINEERING  
P.O. BOX 9000 TEMPE, ARIZONA 85286



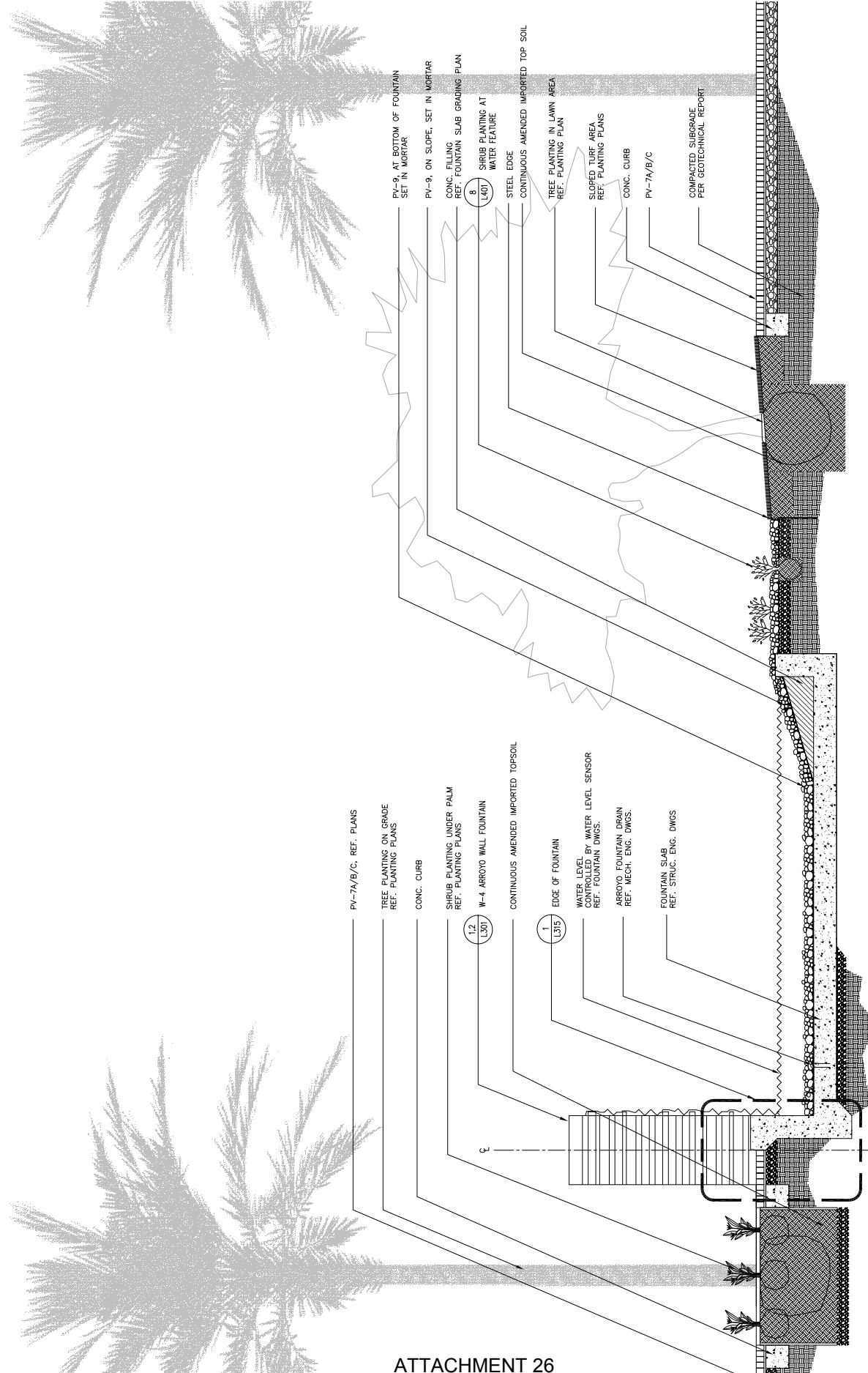
REVISIONS: DATE  
FOR REVIEW 05/04/07  
90% CD 06/12/07  
100% CD 07/13/07

DATE: JULY 13, 2007  
PROJECT NO.:  
SHEET NO.:  
SHEET TITLE:

Arroyo Fountain  
Cross Section

SURVEYED BY:  
DESIGNED BY:  
DRAWN BY: KS, MA, MC  
CHECKED BY: KS, MA  
SCALE: AS SHOWN

L303



1 SECTION A-A  
SCALE: 1/8" = 1'-0"

UPPER FOUNTAIN WALLING: FIELD/STREET/CO-ORDINATE/PLAN/SECTION



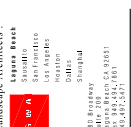
A Project of:



Civil Structural  
& Electrical Engineers:



Landscaping Architects:



City of Tempe  
DIVISION OF ENGINEERING  
P.O. BOX 500, TEMPE, ARIZONA 85282

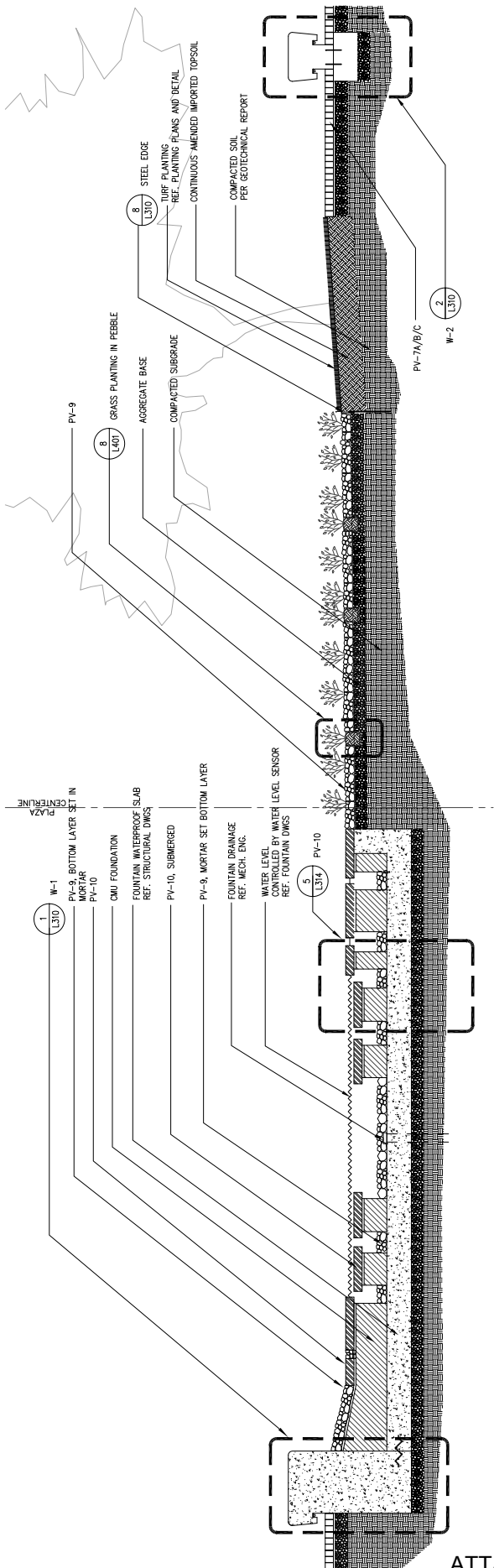


REVISIONS:	DATE
1.00 REVIEW	05/24/07
1.01 REVIEW	06/11/07
1.02 CD	07/15/07

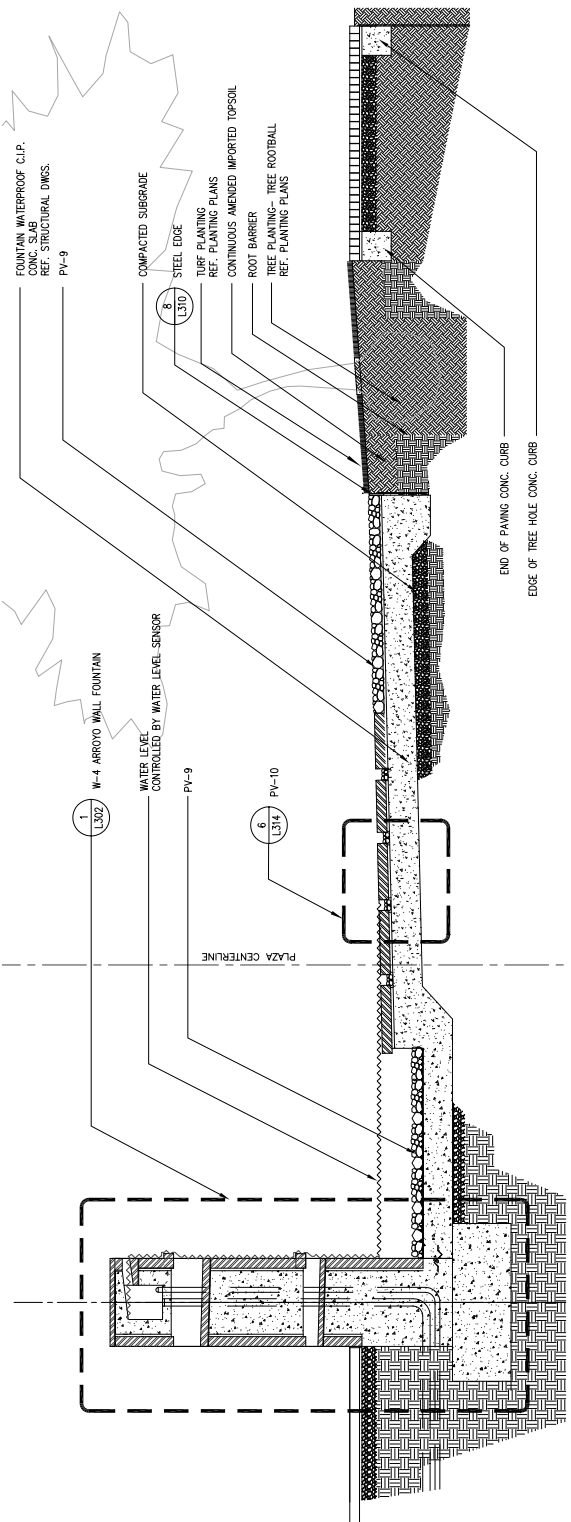
DATE: JULY 13, 2007  
PROJECT NO.: L304  
SHEET: 01 OF 01  
SHEET TITLE: Construction Details

Submitted By: JAGUNA PACIFIC  
Checked By: AS, MM  
Scale: AS SHOWN

L304



2 SECTION C-C  
1/2"=1'-0"



1 SECTION B-B  
1/2"=1'-0"





A Project of :



Barber Pacific Group, Inc.  
10000 N. 10th Street, Suite 100  
Phoenix, AZ 85020  
Phone: 602.553.8900

Civil, Structural  
& Electrical Engineers :



UPAC ENGINEERING  
7721 N. WINDLETTES RANCH RD.  
SUITE 205  
SCOTTSDALE, AZ 85258  
PH: 480.353.3800

Landscape Architects :

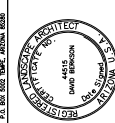


Laguna Pacific  
519 A  
10000 N. 10th Street, Suite 100  
Phoenix, AZ 85020  
Phone: 602.553.8900

519 B  
10000 N. 10th Street, Suite 100  
Phoenix, AZ 85020  
Phone: 602.553.8900

519 C  
10000 N. 10th Street, Suite 100  
Phoenix, AZ 85020  
Phone: 602.553.8900

City of Tempe  
DIVISION OF ENGINEERING  
PLANS SECTION  
PL 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000



REVISIONS:	DATE
1. PREPARED BY: [Name]	06/12/07
2. CHECKED BY: [Name]	06/12/07
3. DESIGNED BY: [Name]	06/12/07
4. APPROVED BY: [Name]	06/12/07

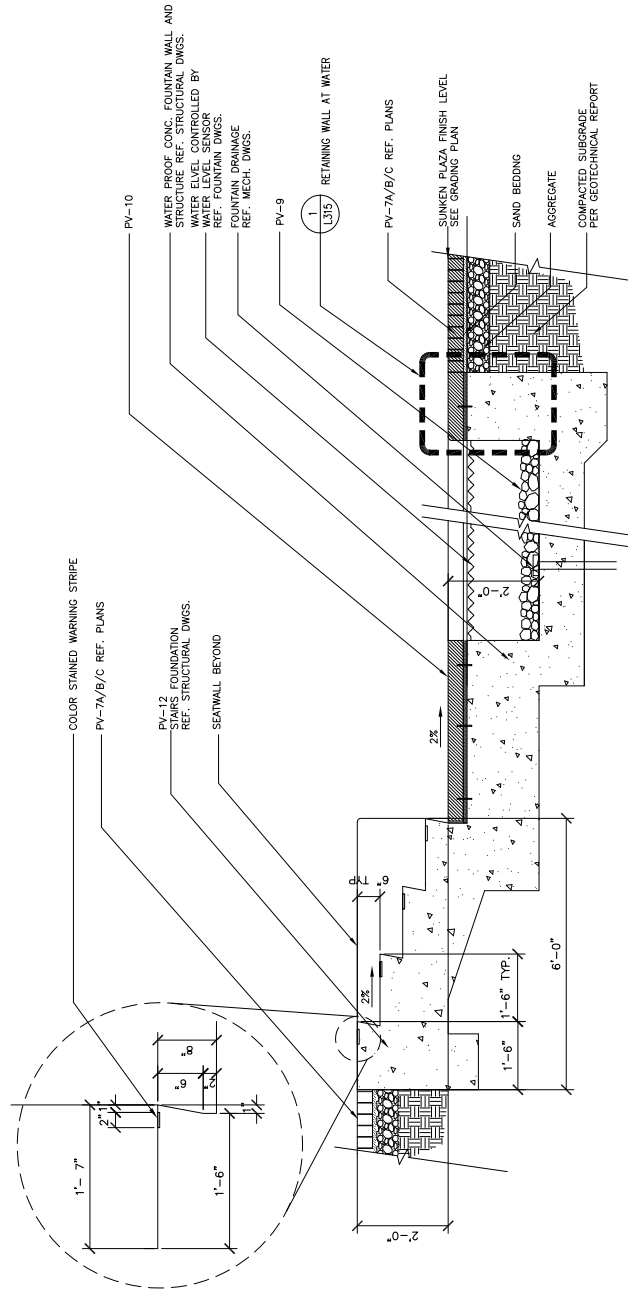
DATE:	JULY 13, 2007
PROJECT NO.:	LPM001
SHEET NO.:	01
SHEET TITLE:	

DATE:	JULY 13, 2007
PROJECT NO.:	LPM001
SHEET NO.:	01
SHEET TITLE:	

Stair and Fountain  
Details

SURVEYED BY:	KS, MM, MC
DRAWN BY:	KS, MM, MC
CHECKED BY:	KS, MM
SCALE:	AS SHOWN

L307

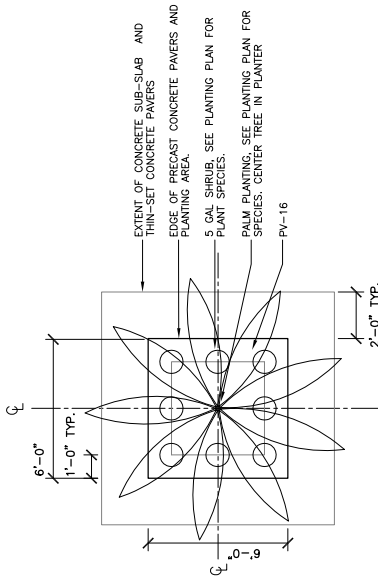


1 SECTION D-D THROUGH STEPS AT CASCADE FOUNTAIN  
SCALE: 3/4" = 1'-0"

UPAC ENGINEERING, INC. 10000 N. 10TH STREET, SUITE 100, PHOENIX, AZ 85020

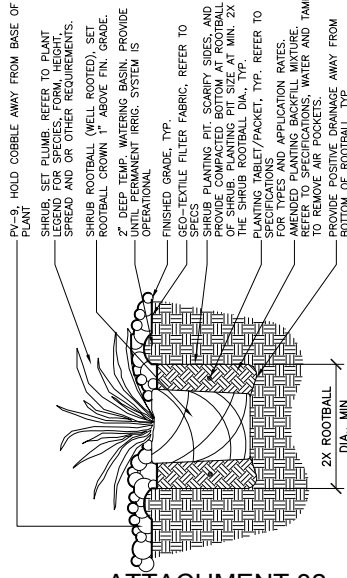






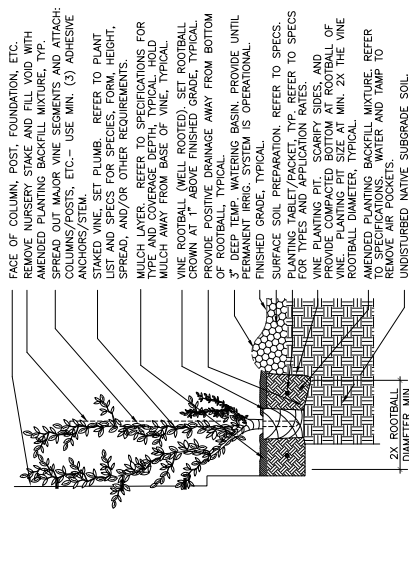
9 PLAZA PALM PLANTERS - PLAN  
SCALE 3/8" = 1'-0"

OWNER: CITY OF TEMPE, ARIZONA

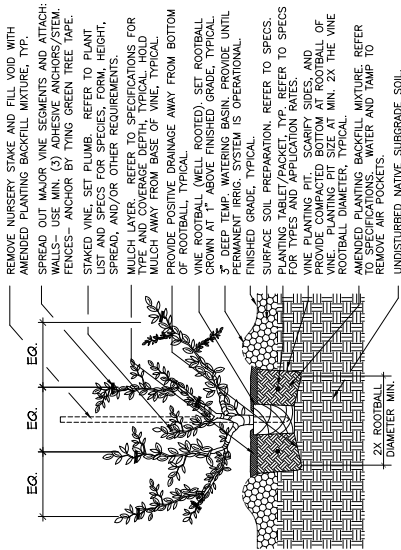


8 SHRUB PLANTING AT PEBBLE  
N/S

OWNER: CITY OF TEMPE, ARIZONA

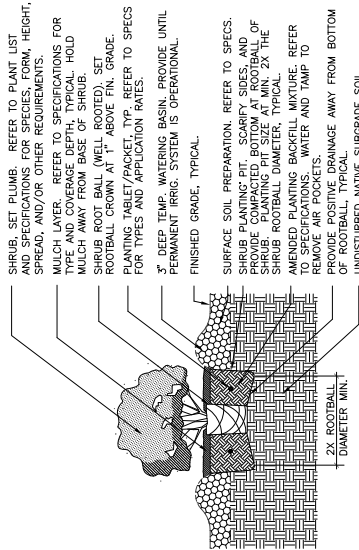


7 VINE PLANTING  
N/S



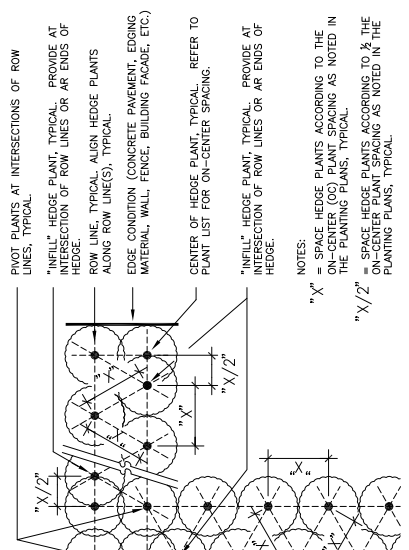
6 VINE PLANTING AT WALL/FENCE  
N/S

OWNER: CITY OF TEMPE, ARIZONA



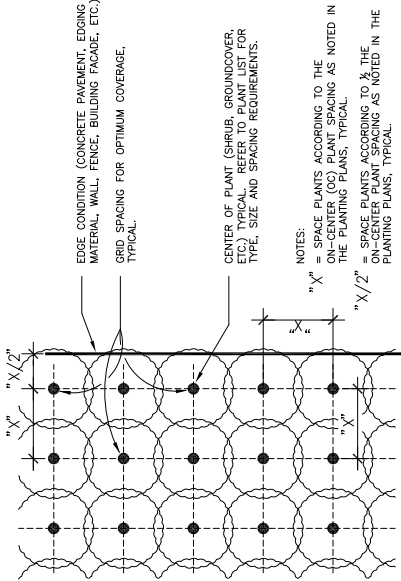
5 SHRUB PLANTING  
N/S

OWNER: CITY OF TEMPE, ARIZONA



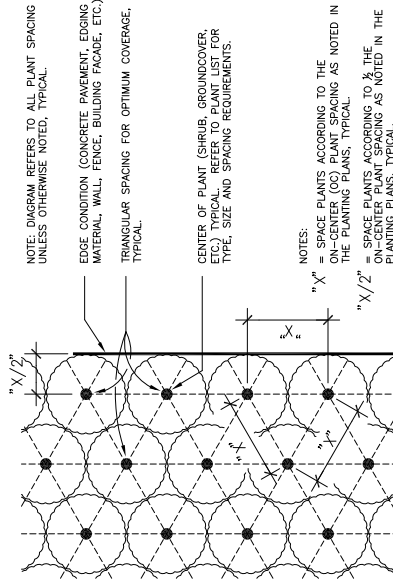
4 HEDGE SPACING DIAGRAM - MULTIPLE ROWS  
N/S

OWNER: CITY OF TEMPE, ARIZONA



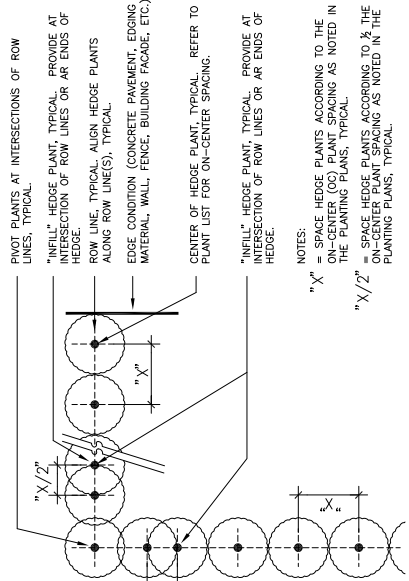
3 GRID SPACING DIAGRAM  
N/S

OWNER: CITY OF TEMPE, ARIZONA



2 TRIANGULAR SPACING DIAGRAM  
N/S

OWNER: CITY OF TEMPE, ARIZONA



1 HEDGE SPACING DIAGRAM - SINGLE ROW  
N/S

OWNER: CITY OF TEMPE, ARIZONA

A Project of:



Civil Structural & Electrical Engineers:



7711 E. DOUGLASS RANCH RD. SUITE B155 SCOTTSDALE, AZ 85258

Landscape Architects:



100 Broadway

City of Tempe  
DIVISION OF ENGINEERING



REVISIONS:  
DATE: 05/04/07  
60% REVIEW: 06/15/07  
90% CD: 07/13/07  
100% CD: 07/13/07

DATE: JULY 13, 2007  
DESIGNED BY: UNP/MD  
CHECKED BY: KS, MM, MC  
SCALE: AS SHOWN

Planting Details

DESIGNED BY: UNP/MD  
CHECKED BY: KS, MM, MC  
SCALE: AS SHOWN

L401